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NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

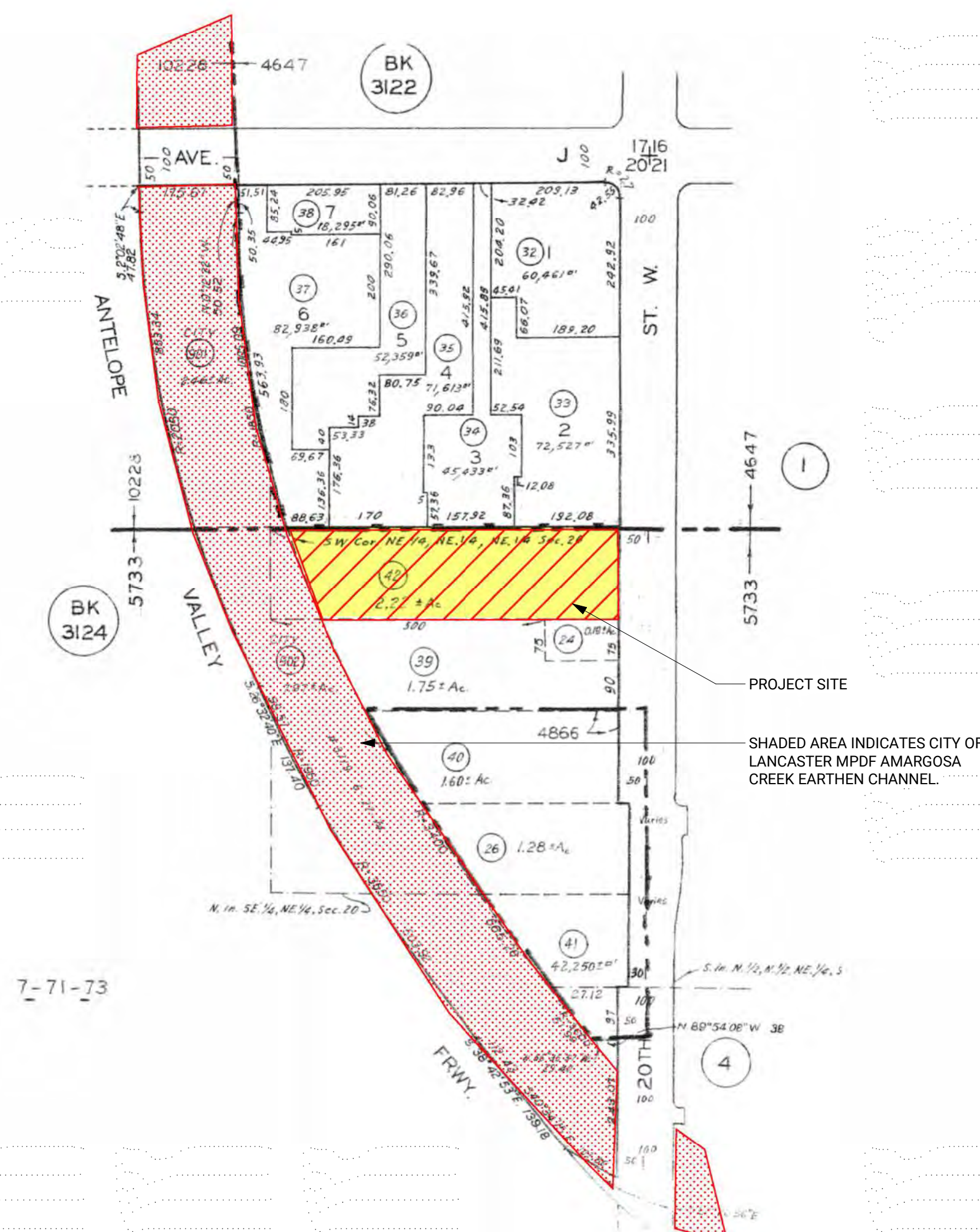
TITLE:
PROJECT
INFORMATION

PERMIT #: XXXXXXXXX

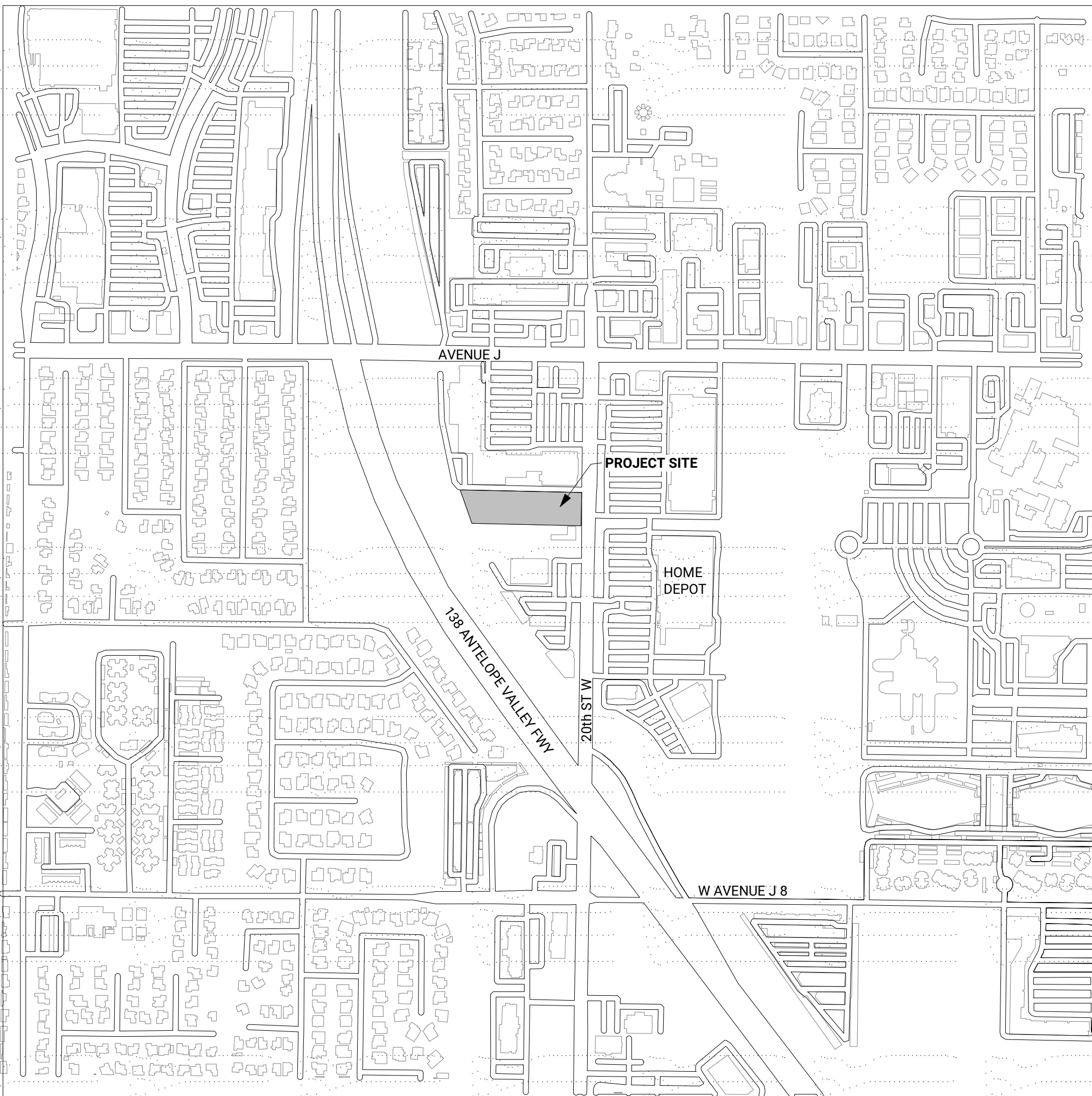
PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"
PROJECT:
2024-007
SCALE:
1 : 6000
DRAWN BY:
DATE:
11/15/2024
SHEET NUMBER:

A0-100



VICINITY MAP



SQUARE MILE

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PROJECT INFORMATION

1. OWNER NAME	LEO POLOSADJIAN, M.D.
2. PROJECT ADDRESS	123005-042 LANCASTER, CA 93535
3. LEGAL DESCRIPTION	XX
4. NO. DWELLING UNITS	X UNITS
5. TYPE OF CONSTRUCTION	TYPE V-8
6. OCCUPANCY	(E) VACANT, (N) COMMERCIAL
7. PARCEL NUM.	A0-3123-005-042
8. PRIMARY ZONING	OPD COMMERCIAL PLANNED DEVELOPMENT
9. OVERLAY DISTRICT	N/A
10. NO. OF STORIES	(E) VACANT, (N) 2
11. SITE DIMENSIONS	SEE A1-201
12. SITE AREA	55,725 SF
13. EXISTING BLD SIZE	N/A
14. EXISTING PROGRAM	N/A
15. ACCESSORY STR. PROPOSED:	NONE
16. TOTAL NEW BLD AREA	6,128 SF. SEE A1-201 FOR BREAKDOWN
17. TOTAL LOT COVERAGE	6,128 SF. SEE A1-201 FOR BREAKDOWN
18. FIRE SPRINKLERS	(E) NO, (N) YES
19. AUTH. HAVING JURISD. (AHJ)	CITY OF LANCASTER

SOLAR PANEL UNDER SEPARATE PERMIT

SCOPE OF WORK

NEW CARWASH 3,430 SF.
NEW RETAIL 1,950 SF.
NEW (2) DETACHED MECH ROOMS 180 SF.

APPLICABLE CODES

2023 CBC V1 & V2, CRC, DEC, CMC, CPC, CFC, LANCASTER, AND CAL GREEN
BIDS STANDARD CODE, 2023 CALIFORNIA ENERGY CODE

FRONT SETBACK REQUIREMENT

THE BUILDING MUST BE LOCATED WITHIN THE 0'-12' BUILD-TO LINE AND 50% OF THE BUILDING FRONTAGE MUST BE LOCATED AT THAT BUILD-TO.

ENCROACHMENT PLANE

N/A

SIDE SETBACK REQUIREMENT

N/A

REAR SETBACK REQUIREMENT

N/A

HEIGHT REQUIREMENT

N/A

LOT COVERAGE ALLOWED (ALL ROOFED AREAS ON SITE)

N/A

GROSS FLOOR AREA ALLOWED

N/A

LANDSCAPING REQUIREMENT

THE MINIMUM REQUIRED LANDSCAPING FOR THE SITE IS 15% OF THE SITE SQUARE-FOOTAGE AFTER SUBTRACTING THE BUILDING SQUARE-FOOTAGE.

PARKING REQUIREMENT

17.12.2201 - OFF-STREET PARKING.

FOR ALL USES, THE DEVELOPER, PROPERTY OWNER, OR AUTHORIZED AGENT SHALL DETERMINE THE NUMBER OF PARKING SPACES SUFFICIENT FOR THE PROPOSED USE, AND SHALL PROVIDE JUSTIFICATION ACCEPTABLE TO THE DIRECTOR OF DEVELOPMENT SERVICES AND/OR THE PLANNING COMMISSION TO SUPPORT THE DETERMINATION.

WALLS AND FENCES

A MASONRY WALL OF MINIMUM FIVE FEET AND MAXIMUM SIX FEET IN HEIGHT SHALL BE PROVIDED AT PROPERTY LINE.

DRIVEWAY SIZE

THE STREET SECTION FOR ALL DRIVE AISLES WITH TWO-WAY TRAFFIC SHALL BE SHOWN WITH A MINIMUM CURB TO CURB WIDTH OF 26'. ONE-WAY TRAFFIC DRIVE AISLES SHALL HAVE A MINIMUM WIDTH OF 20' CURB TO CURB. ALL DRIVE AISLES WITH TWO-WAY TRAFFIC OR MORE SHALL HAVE DEFINED DIRECTIONAL MARKING TO SHOW THE ON-SITE CIRCULATION.

FIRE PROTECTION

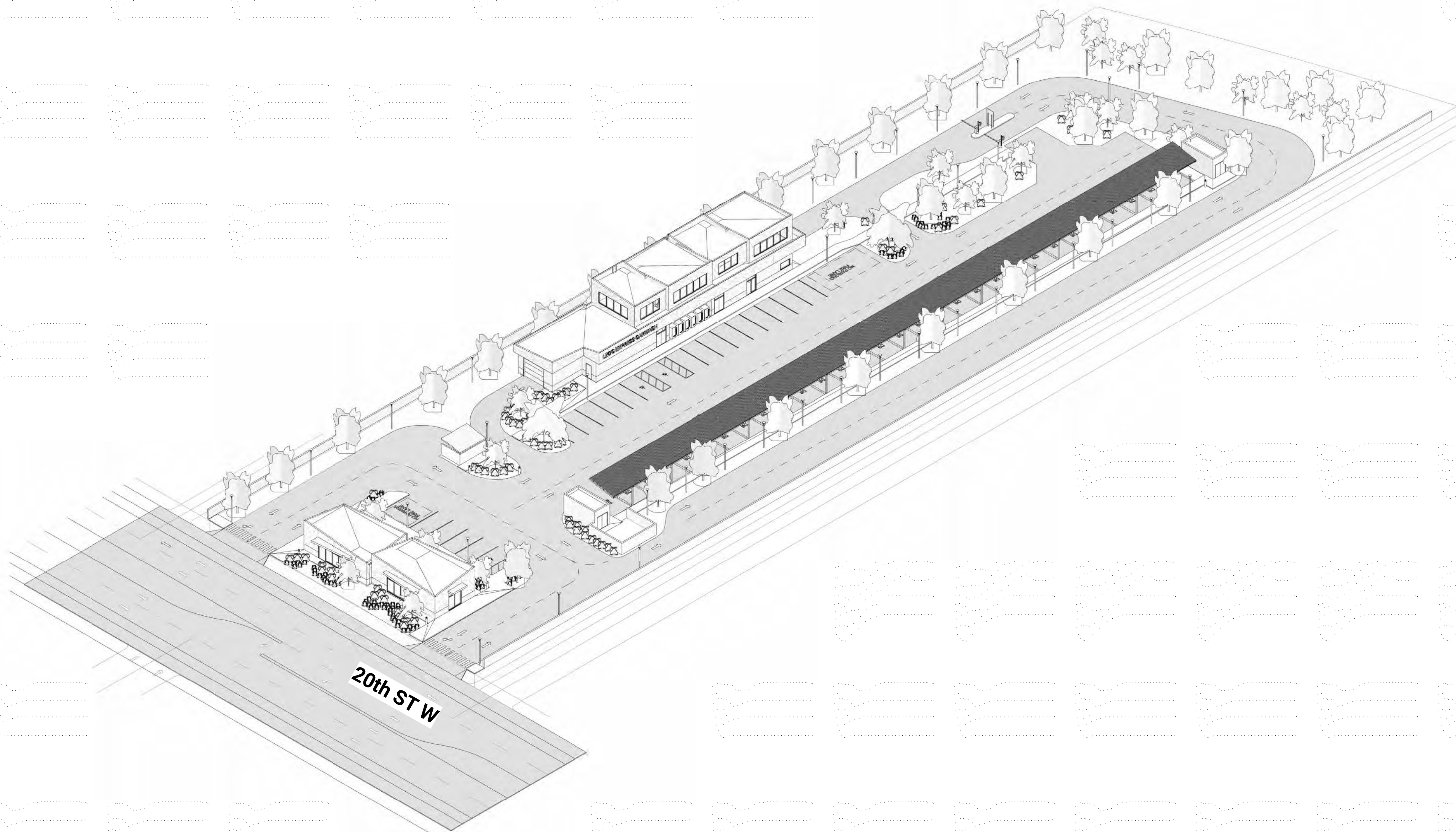
(E) NO, (N) YES.

POLOSADJIAN PROPERTY

AID: 3123-005-042
LANCASTER, CA 93535

CARWASH & RETAIL SPACE

CUP SET



4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

PROJECT:

2024-007

SCALE:

1 : 6000

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NEW CARWASH

TITLE:
GENERAL NOTES

GENERAL NOTES - CONTINUE

- TOILETS SHALL HAVE 24" FRONT CLEARANCE AND A 30" MINIMUM WIDTH CLEARANCE.
- HOSE BIBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW PREVENTION VALVE.
- DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE APPLICABLE MECHANICAL CODE.
- ELEMENTS OF APPLIANCES WHICH CREATE A GLOW, SPARK, OR FLAME SHALL BE LOCATED A MINIMUM OF 18" ABOVE GARAGE FLOOR. (MC 308.1).
- PROVIDE PASSAGEWAY 24" WIDE OF SOLID CONTINUOUS FLOORING FROM ATTIC ACCESS TO FAU CONTROLS. LENGTH OF PASSAGEWAY SHALL NOT EXCEED 20 FEET. (MC 904.11).
- PROVIDE A MINIMUM 36 INCH LANDING MEASURED IN THE DIRECTION OF TRAVEL AT ALL EXTERIOR DOORS.
- CONTRACTOR TO PROVIDE KIT-KAT BARS AT ALL SITE VISITS PERFORMED BY ARCHITECT.
- REQUIRED EGRESS DOORS SHALL NOT SWING OVER A LANDING THAT IS MORE THAN 1.5 INCH IN EIGHT BELOW THE THRESHOLD.
- ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (1 LUX).
- IN ANY INTERIOR AREA USED FOR CHARGING ELECTRIC VEHICLES, ELECTRIC EQUIPMENT SHALL BE INSTALLED PER LOS ANGELES COUNTY ELECTRICAL CODE.
- UNDER-FLOOR VENTING: ADDITIONAL NOTES - ONE VENTILATION OPENING SHALL BE PLACED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE CRAWL SPACE AREA. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8 INCH MINIMUM AND 1/2 INCH MAXIMUM OPENING. UNVENTED UNDER-FLOOR SPACE SHALL COMPLY WITH SECTION 408.3.
- SPECIAL INSPECTOR MUST BE EMPLOYED BY THE OWNER OR DESIGN PROFESSIONAL IN CHARGE ACTING AS THE OWNER'S AGENT. SPECIAL INSPECTOR MAY NOT BE EMPLOYED BY THE CONTRACTOR (CBC 1704.2).
- CLASS "A" ROOFING IS REQUIRED FOR FIRE PROTECTION.
- ALL GYPSUM BOARD SHALL BE "X" TYPE "X". WATER RESISTANT (W/R) SHALL BE "X" TYPE "X" WATER RESISTANT UNLESS OTHERWISE NOTED. USE MOLD-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.

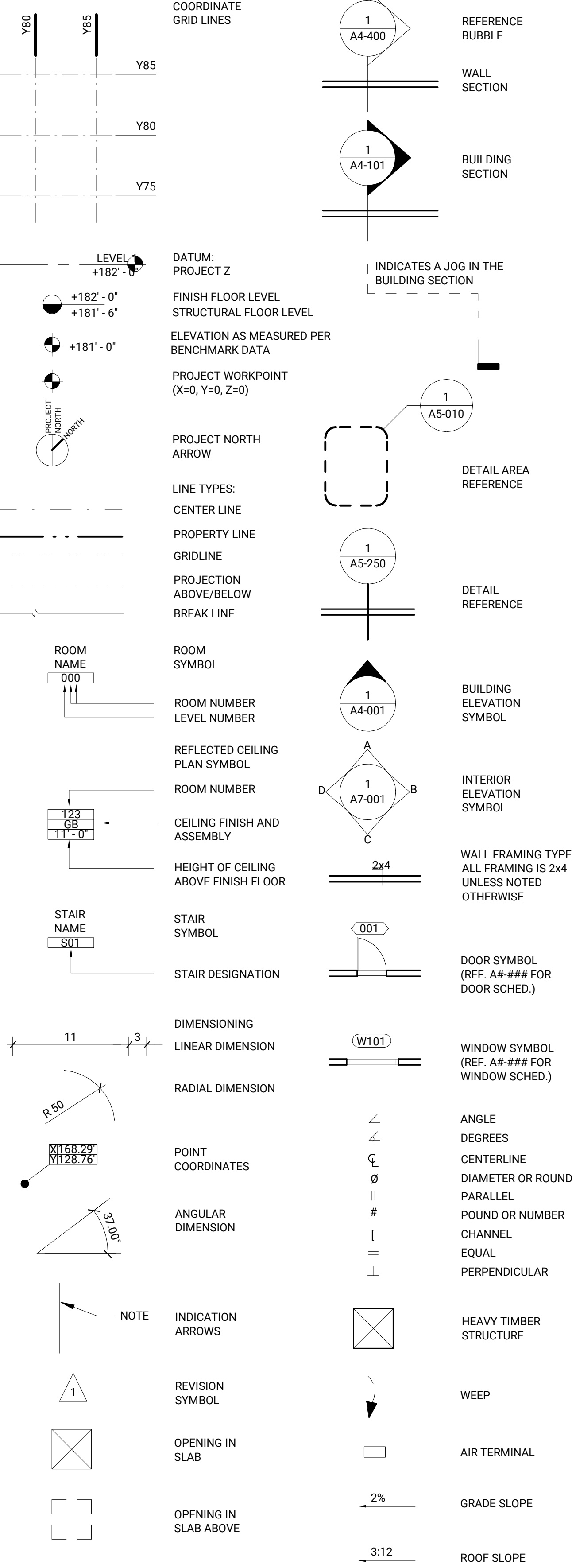
FIRE PROTECTION NOTES

- IF REQUIRED BY CITY ORDINANCES OR FIRE DEPARTMENT, FIRE SPRINKLERS SHALL BE INSTALLED AND ONE-HOUR FIRE SEPARATIONS SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE SPRINKLER PLAN TO FIRE MARSHAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- SMOKE ALARM SHALL BE INTERCONNECTED HARDWIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. BATTERY SMOKE ALARM PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH 10 YEAR BATTERY AND HAVE A SILENCE FEATURE.

NOTE ABBREVIATIONS

3D	THREE DIMENSIONAL	L	LENGTH
AD	AREA DRAIN	LAM	LAMINATE
AFF	ABOVE FINISH FLOOR	LAV	LAVATORY
ALT	ALTERNATE	LD	LEADER DRAIN
ALUM	ALUMINUM	LF	LINEAR FOOT
ANG	AVERAGE NATURAL GRADE	LL	LIVE LOAD
AP	ACCESS PANEL	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
AV	AUDIO VISUAL	MIN	MINIMUM
		MIR	MIRROR
BLDG	BUILDING	N	NORTH
BO	BOTTOM OF	NO	NUMBER
		NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CBC	CALIFORNIA BUILDING CODE	OD	OUTSIDE DIAMETER (DIM)
CJ	CONTROL JOINT	OED	OVERFLOW DRAIN
CL	CENTER LINE	OPP	OPPOSITE
CLS	CEILING	PCF	POUNDS PER CUBIC FOOT
CLR	CLEAR	PERF	PERFORATED
CMU	CONCRETE MASONRY UNITS	PL	PLATE
CO	CLEAN OUT	PLUM	PLUMBING
COL	COLUMN	PSF	POUNDS PER SQUARE FOOT
COC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PTN	PARTITION
CPT	CARPET	PTD	PAINTED
CT	CERAMIC TILE	PVC	POLYVINYL CHLORIDE
CJL	CONDENSER UNIT	PWD	PLYWOOD
CW	COLD WATER	R	RADIUS
		RCP	REFLECTED CEILING PLAN
DTL	DETAIL	RD	ROOT DRAIN
DIA	DIAMETER	REF	REFERENCE
DIAG	DIAGONAL	REV	REVISION
DF	DOUGLAS FIR	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DR	DOOR	S	SOUTH
DS	DOWNSPOUT	SD	STORM DRAIN
DWG	DRAWING	SEC	SECURITY
		SCHED	SCHEDULE
E	EAST	SECT	SECTION
EA	EACH	SF	SQUARE FEET
EC	EXPOSED CONSTRUCTION	SHTG	SHEATHING
EJ	EXPANSION JOINT	SHM	SIMILAR
EL	ELEVATION	SPEC	SPECIFICATION
ELEC	ELECTRICAL	SQ	SQUARE
ELEV	ELEVATOR	ST.STL.	STAINLESS STEEL
EQ	EQUAL	STC	SOUND TRANSMISSION CLASS
EQPT	EQUIPMENT	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
		STOR	STORAGE
FA	FIRE ALARM	STRUCT	STRUCTURAL
FD	FLOOR DRAIN	T&B	TOP AND BOTTOM
FDN	FOUNDATION	T&G	TONGUE AND GROOVE
FF	FINISH FLOOR	TC	TOP OF CURB
FIXT	FIXTURE	TEMP	TEMPERATURE
FLR	FLOOR	THK	THICKNESS
FT	FOOT OR FEET	THR	THRESHOLD
GA	GALVE	T.O.	TOP OF
GALV	GALVANIZED	TOC	TOP OF CURB
GAW	GALVANIZED AFTER WELD	TP	TOP OF PAVING
GC	GENERAL CONTRACTOR	TV	TELEVISION
GL	GLASS	TW	TOP OF WALL
GND	GROUND	TYP	TYPICAL
GP	GYPSUM PLASTER	UNO	UNLESS NOTED OTHERWISE
GWB	GYPSUM WALL BOARD	UNWR	UNDERWRITER'S LABORATORY
H	HEIGHT	VENT	VENTILATION
HDR	HEADER	VGDF	VERTICAL GRAIN DOUGLAS FIR
HW	HARDWOOD		
HWDO	HOT WATER	W	WEST
ID	INSIDE DIAMETER	W	WITH
IV	INVERT ELEVATION	WC	WATER CLOSET
IN	INCH	WD	WOOD
INCL	INCLUDING	WDB	WOOD BASE
INT	INTERIOR	WDF	WOOD FLOOR
INT	IRRIGATION VALVE	WDP	WOOD PANELING
JT	JOINT	WN	WINDOW
		W/O	WITHOUT
		WP	WATERPROOFING
		YO	YARD DRAIN

SYMBOLS





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NEW CARWASH

TITLE:
**L.A. COUNTY DEPT.
OF PUBLIC WORKS
WATERWORKS**

PERMIT #: XXXXXXXXXX

PLANNING #: XXXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE: 1 2 3 4 5

12" = 1'-0"

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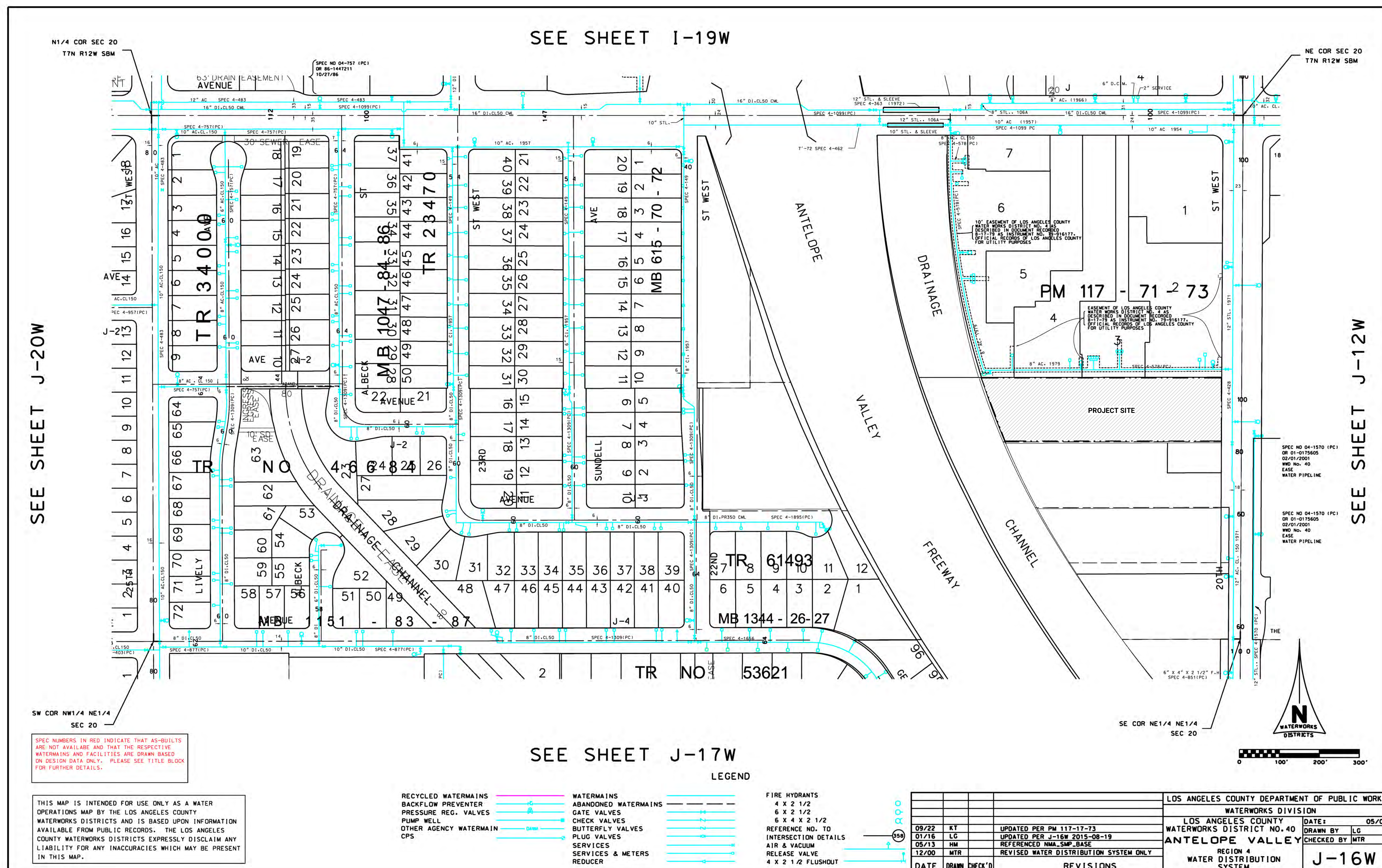
DATE:
11/15/201

11/13/20.

SHEET NUMBER:

	1998	1999
1. <i>Chlamydia trachomatis</i>	1.0	1.0
2. <i>Neisseria meningitidis</i>	1.0	1.0
3. <i>Neisseria gonorrhoeae</i>	1.0	1.0
4. <i>Streptococcus pneumoniae</i>	1.0	1.0
5. <i>Haemophilus influenzae</i>	1.0	1.0
6. <i>Legionella pneumophila</i>	1.0	1.0
7. <i>Salmonella enteritidis</i>	1.0	1.0
8. <i>Escherichia coli</i>	1.0	1.0
9. <i>Staphylococcus aureus</i>	1.0	1.0
10. <i>Pseudomonas aeruginosa</i>	1.0	1.0
11. <i>Streptococcus pyogenes</i>	1.0	1.0
12. <i>Streptococcus pneumoniae</i>	1.0	1.0
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66. <i>Streptococcus pneumoniae</i>	1.0	1.0
67. <i>Streptococcus pneumoniae</i>	1.0	1.0
68. <i>Streptococcus pneumoniae</i>	1.0	1.0
69. <i>Streptococcus pneumoniae</i>	1.0	1.0
70. <i>Streptococcus pneumoniae</i>	1.0	1.0
71. <i>Streptococcus pneumoniae</i>	1.0	1.0
72. <i>Streptococcus pneumoniae</i>	1.0	1.0
73. <i>Streptococcus pneumoniae</i>	1.0	1.0
74. <i>Streptococcus pneumoniae</i>	1.0	1.0
75. <i>Streptococcus pneumoniae</i>	1.0	1.0
76. <i>Streptococcus pneumoniae</i>	1.0	1.0
77. <i>Streptococcus pneumoniae</i>	1.0	1.0
78. <i>Streptococcus pneumoniae</i>	1.0	1.0
79. <i>Streptococcus pneumoniae</i>	1.0	1.0
80. <i>Streptococcus pneumoniae</i>	1.0	1.0
81. <i>Streptococcus pneumoniae</i>	1.0	1.0
82. <i>Streptococcus pneumoniae</i>	1.0	1.0
83. <i>Streptococcus pneumoniae</i>	1.0	1.0
84. <i>Streptococcus pneumoniae</i>	1.0	1.0
85. <i>Streptococcus pneumoniae</i>	1.0	1.0
86. <i>Streptococcus pneumoniae</i>	1.0	1.0
87. <i>Streptococcus pneumoniae</i>	1.0	1.0
88. <i>Streptococcus pneumoniae</i>	1.0	1.0
89. <i>Streptococcus pneumoniae</i>	1.0	1.0
90. <i>Streptococcus pneumoniae</i>	1.0	1.0

A0-102



Ullmann's Journal Documents 17A 1997-2014, MCT, arts@halla.edu



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NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**L.A. COUNTY DEPT.
OF PUBLIC WORKS
SANITARY SEWERS**

PERMIT #: XXXXXXXXXX

PLANNING #: XXXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

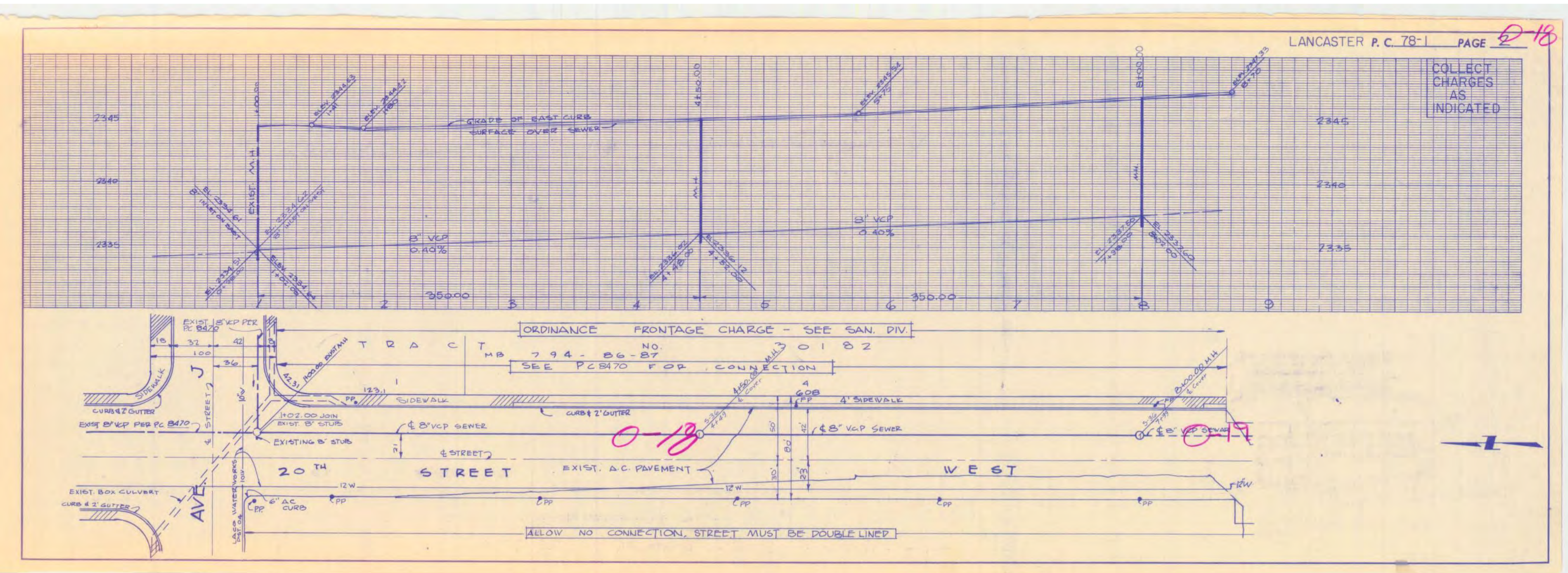
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DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER

A0-103



4' x 5.5' BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER

A0-103





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NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**PRELIMINARY
UTILITY POINT OF
CONNECTION
DIAGRAM**

PERMIT #: XXXXXXXXXX

PLANNING #: XXXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007

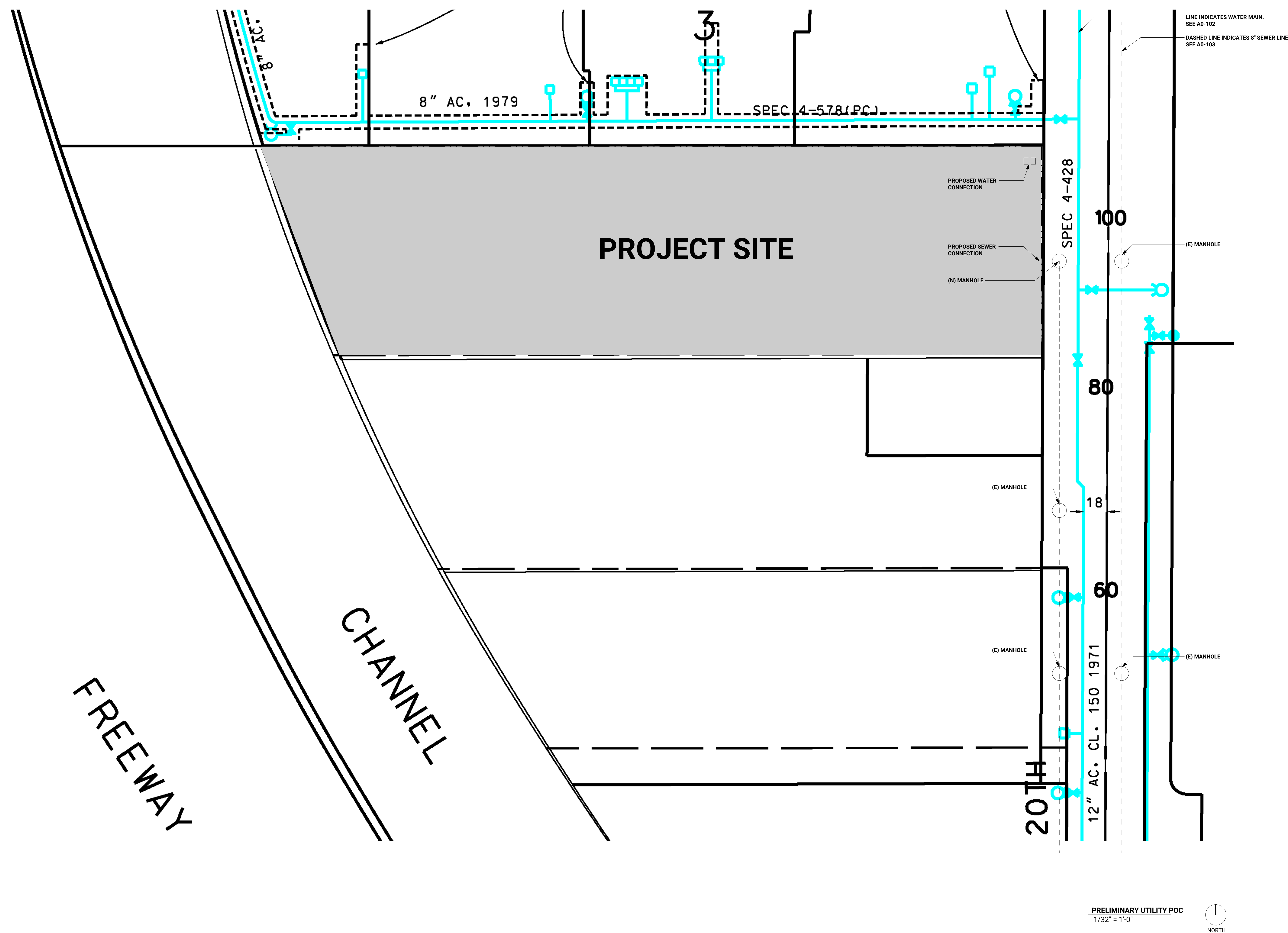
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DATE:
11/15/2024

SHEET NUMBER

A0-104



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NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
RENDERING

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007

SCALE:

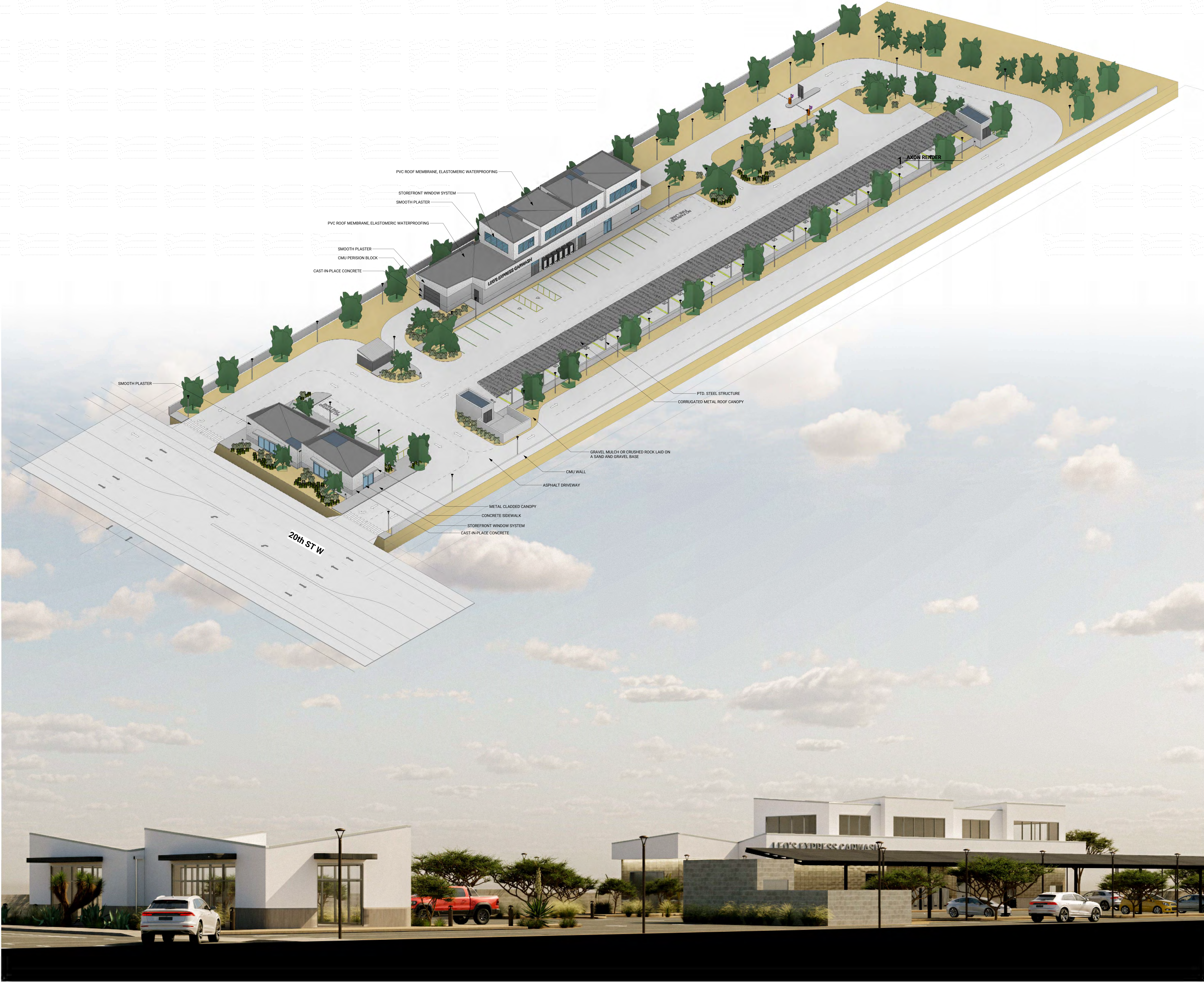
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DATE:

11/15/2024

SHEET NUMBER:

A0-111





NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
RENDERINGS

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007

SCALE

DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER:

A0-112





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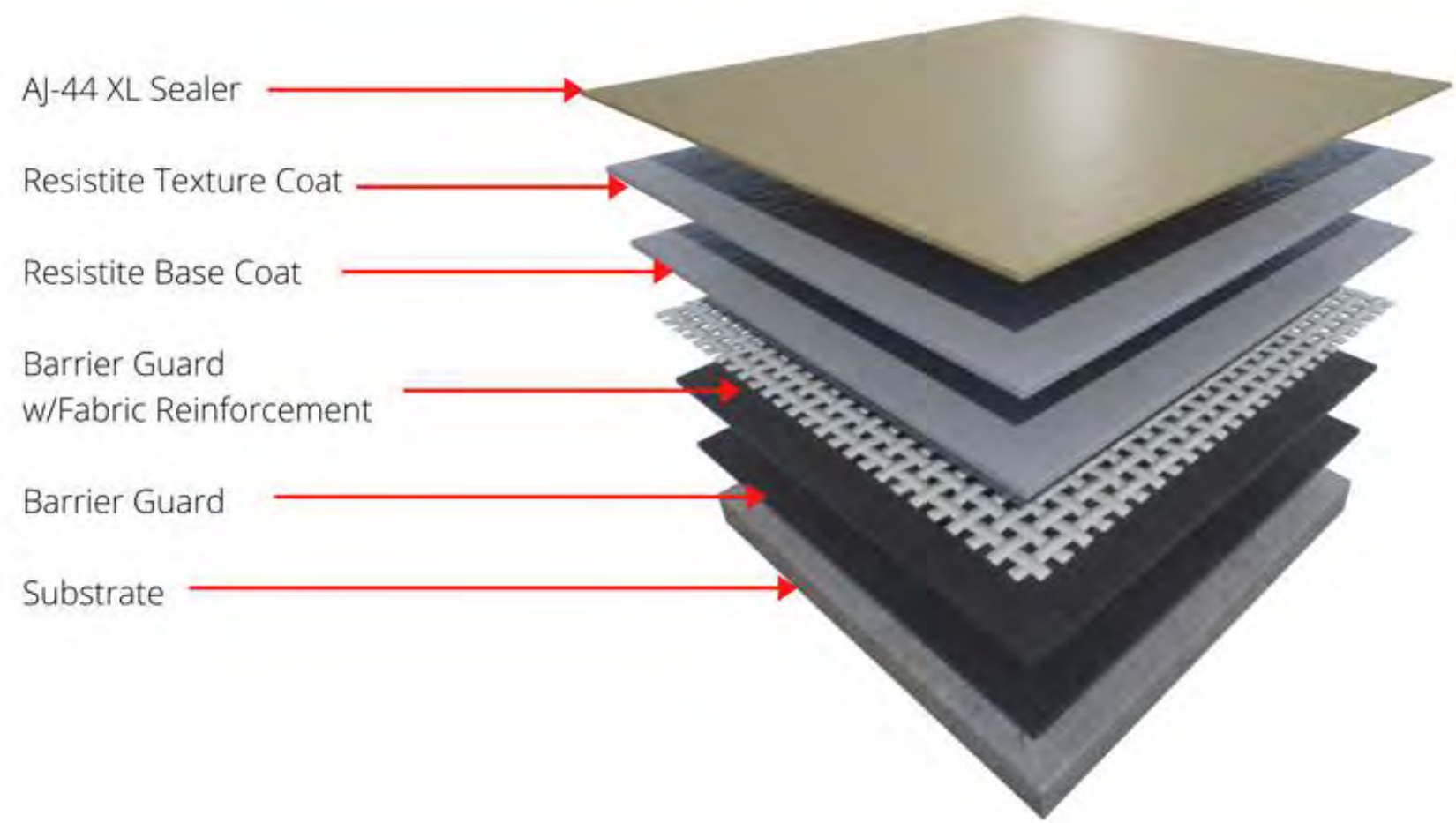
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5. ELASTOMERIC WATERPROOFING
B.O.D: DEX-O-TEX, DEX-FLEX



4. METAL ROOF CANOPY



11. GRAVEL MULCH OR CRUSHED ROCK LAID ON A SAND AND GRAVEL BASE



8. METAL COPING



3. STACKED PRECISION CMU BLOCK



10. TERRAZZO CONCRETE SIDEWALK



7. HIGH PERFORMANCE METAL PAINT COATING



2. BOARD FORM CONCRETE



9. ASPHALT PARKING LOT



6. CORRUGATED METAL ROOF PANEL



1. SMOOTH PLASTER

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
MATERIAL BOARD

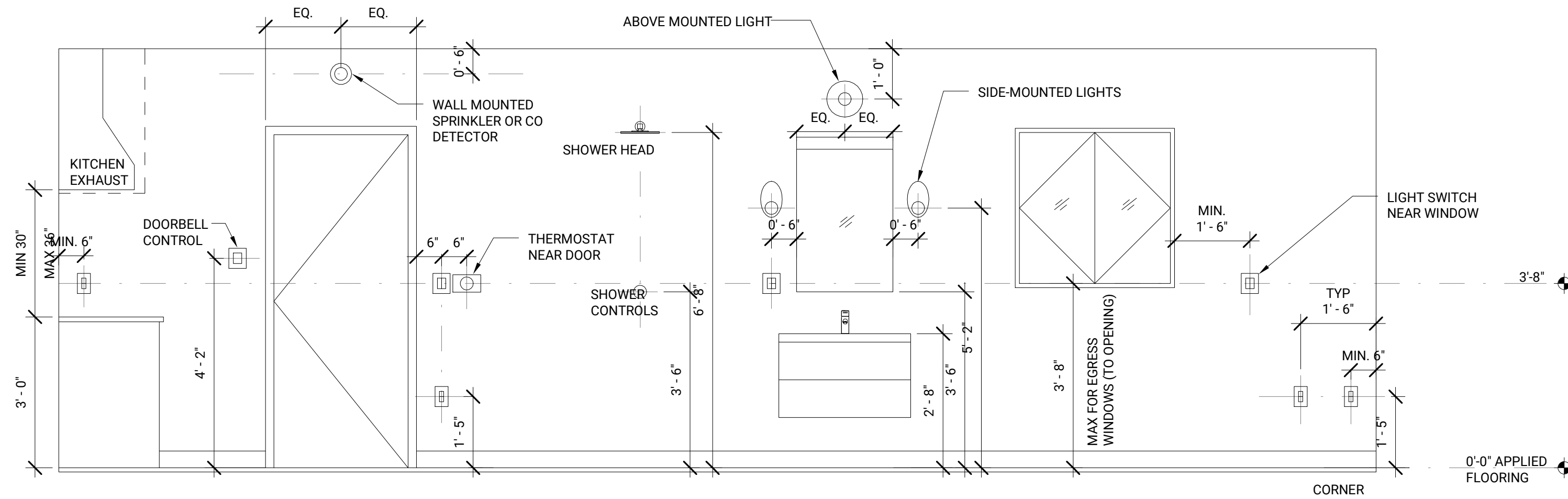
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PLANNING #: XXXXXXXXX

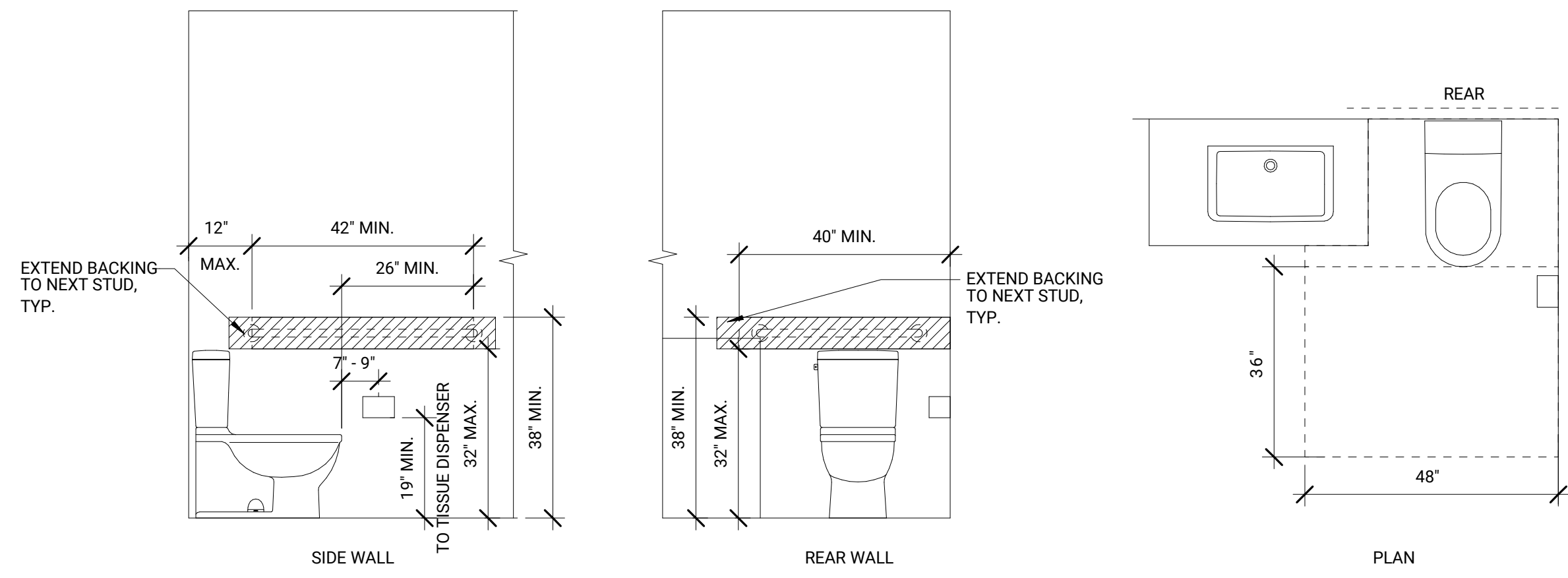
ORIGINAL SHEET SIZE: 36" x 48"
PROJECT:
2024-007
SCALE
DRAWN BY:
DATE:
11/15/2024
SHEET NUMBER

A0-113

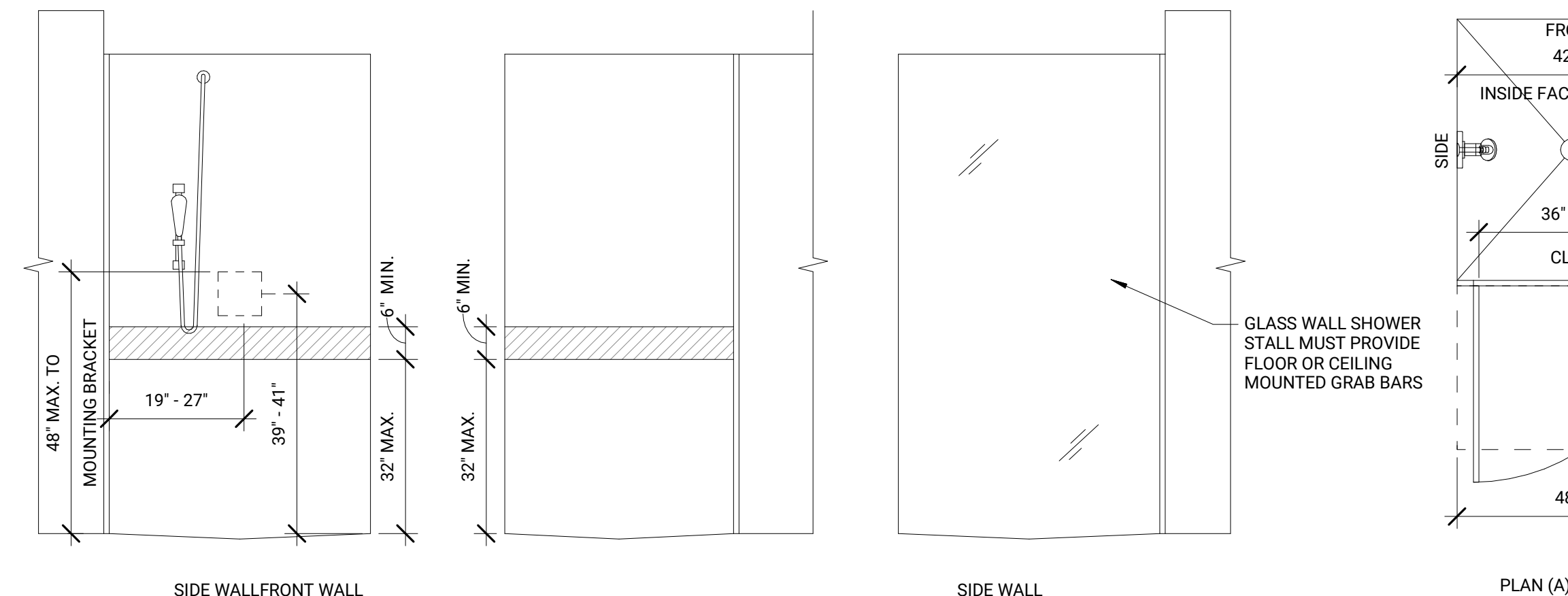




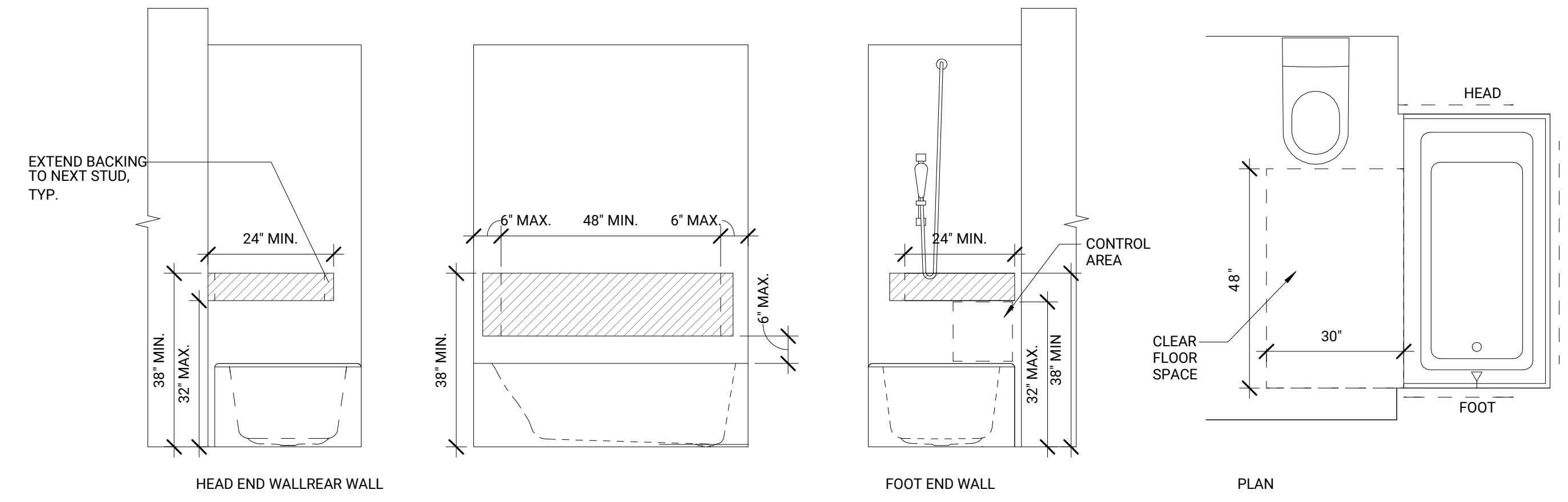
6 MOUNTING HIGHT DIAGRAM
1/2" = 1'-0"



3 BACKING FOR ADAPTABLE TOILETS WITH WALL GRAB BAR
SCALE: 1/2" = 1'-0"
(CBC FIG. 11A-9G)

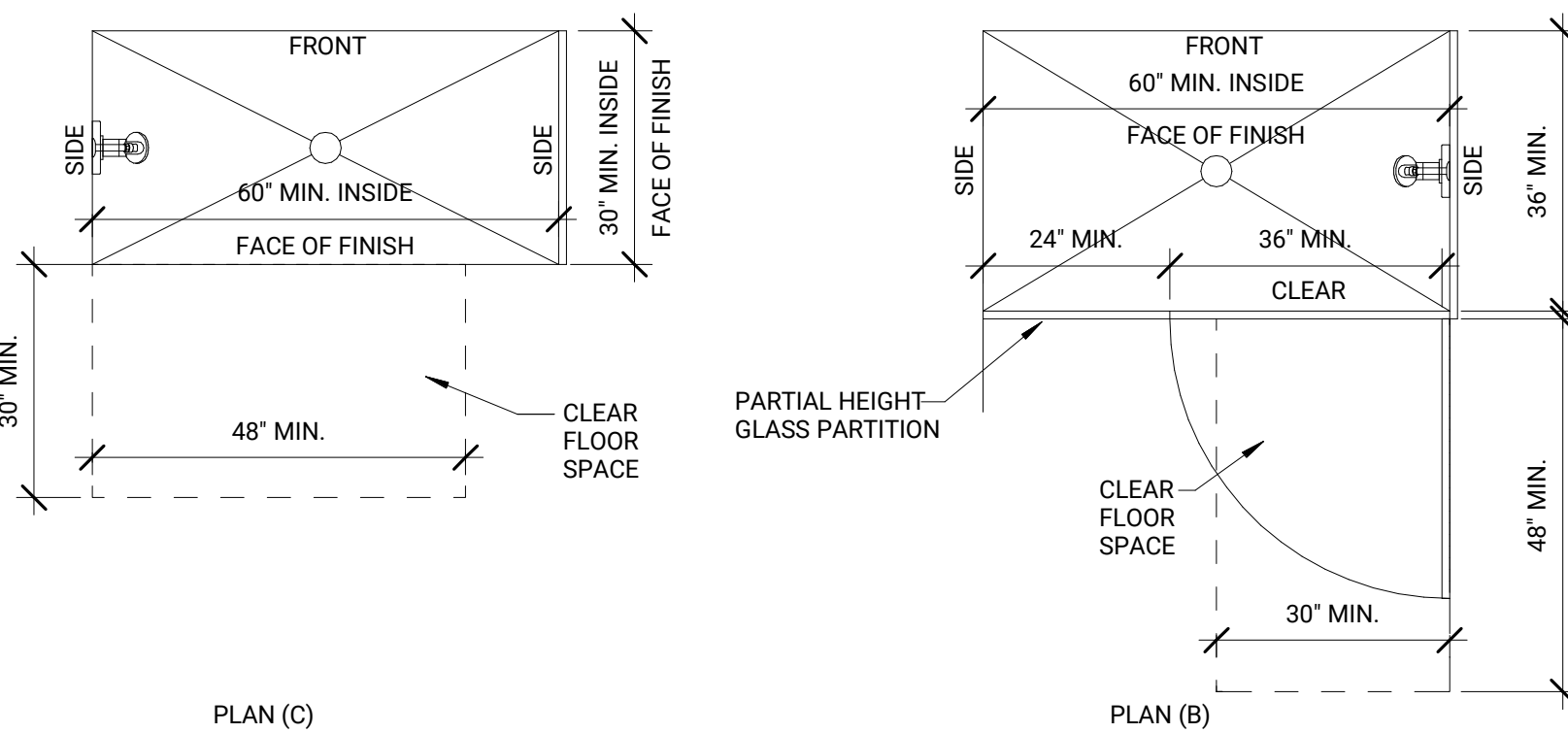


5 BACKING FOR ADAPTABLE SHOWER
SCALE: 1/2" = 1'-0"
(CBC FIG. 11A-9D)

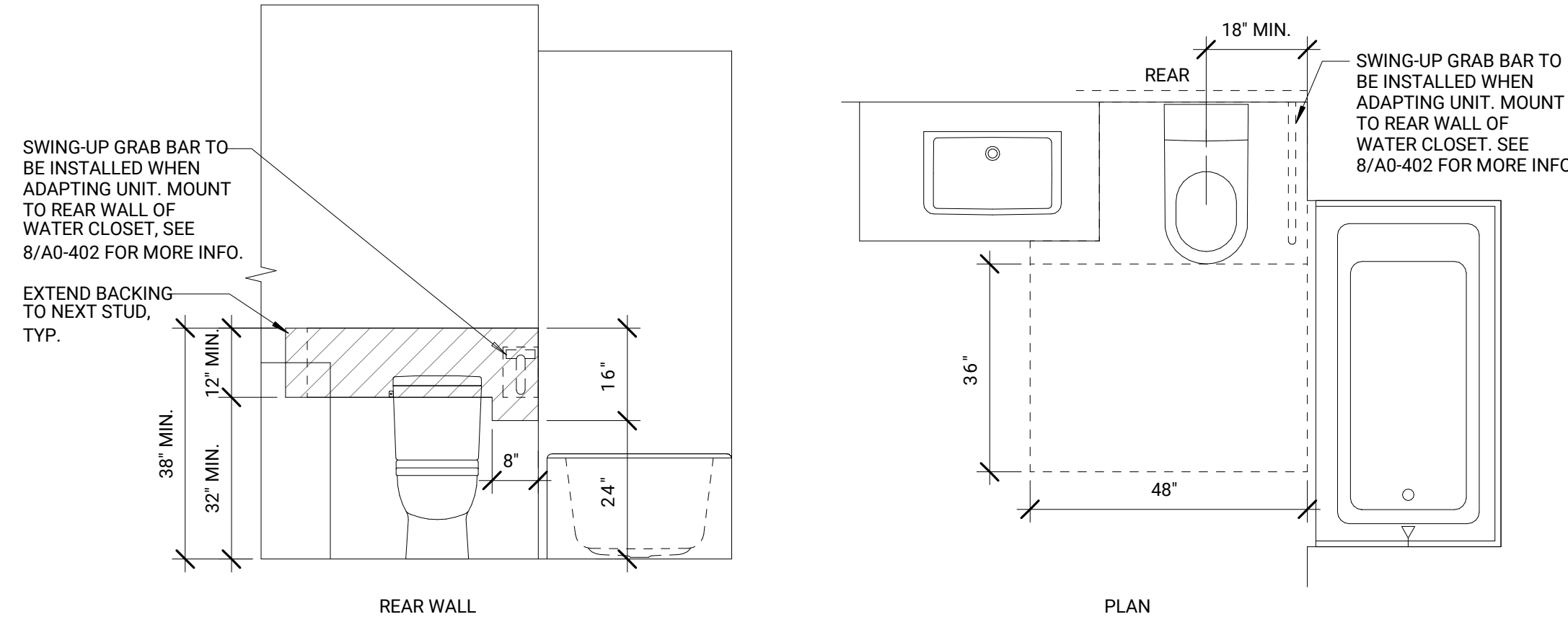
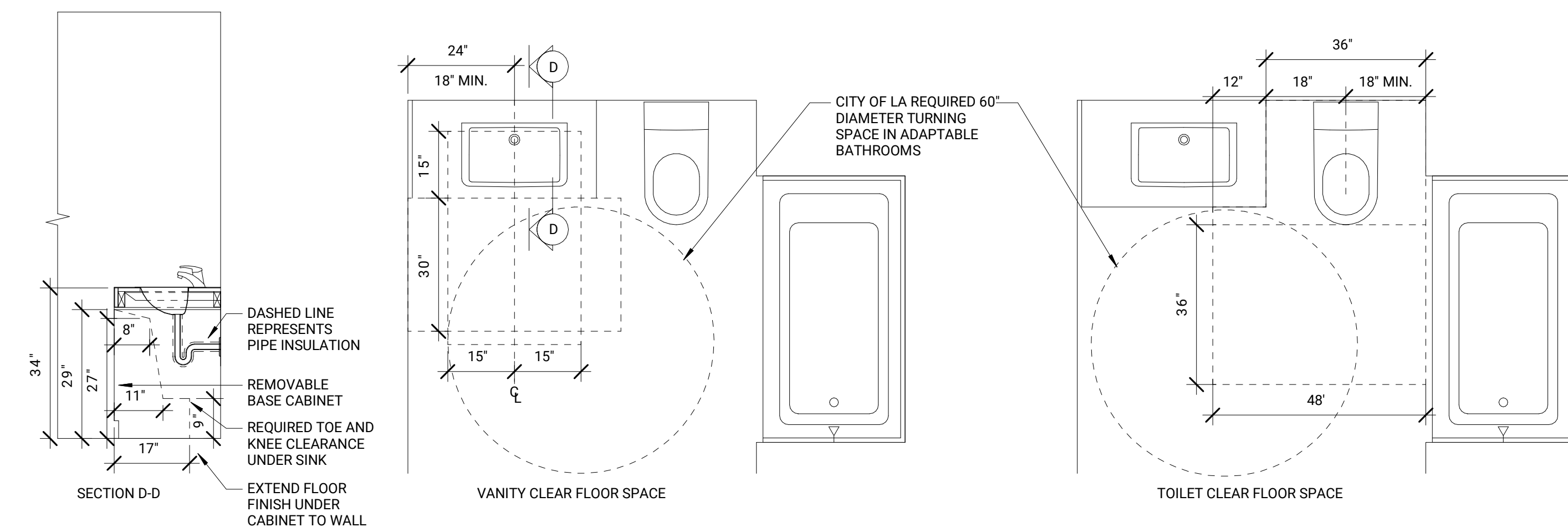


2 BACKING FOR ADAPTABLE TUB
SCALE: 1/2" = 1'-0"
(CBC FIG. 11A-9G)

SEE GENERAL NOTES 3.0 ADAPTABLE UNIT LAVATORIES, 4. ADAPTABLE UNIT WATER CLOSET, 5.0 ADAPTABLE UNIT SHOWER AND 6.0 ADAPTABLE UNIT TUBS FOR MORE INFORMATION.



4 CLEARANCES FOR ADAPTABLE TOILET AND VANITY
SCALE: 1/2" = 1'-0"
(CBC FIG. 11A-9D AND FIG. 11A-9M)



1 BACKING FOR ADAPTABLE TOILETS WITH SWING-UP GRAB BAR
SCALE: 1/2" = 1'-0"
(CBC FIG. 11A-9G)

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
CODE & ADA

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

1/2" = 1'-0"

DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

A0-600





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NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE: TRAFFIC MANAGEMENT STUDY

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

A1-100



Chick-fil-A - Port Washington Road at Henry Clay Street, Glendale, Wisconsin May 26, 2021

down to a single lane to pick-up the order at the store window. Under the Glendale store design, food can be delivered by staff to the outside lane without having to park and wait for the order. Under this design, the ordering/delivery time should be more efficient than the two Brookfield Store locations.

To complete the study at the Brookfield locations, a random vehicle was chosen and timed as it entered the queue and then again as it departed after picking up the order. The number of vehicles that were processed between when the subject vehicle entered the queue and finished the order was also recorded. The average time was then calculated by dividing the total time by the total number of processed orders between the entering and departing vehicles. The process was repeated for 6 to 10 random vehicles at each location. Based on the results, the average processing time was 30 seconds for the Brookfield Square site and 20 seconds for the Capital Drive site. In addition, of the 16 trial runs recorded, the highest average time was 40 seconds. It is noted that the number of vehicles in each queue ranged from a low of 7 vehicles up to a high of 40 vehicles. Regardless of the number of vehicles, the processing time was similar (within 5 seconds) at each location.

In addition to the analysis under conditions with a longer queue, a separate timing was completed with no other vehicles in the queue at the Brookfield Square site. Based on this timing, the processing time from placing the order to leaving after picking up the order was 1 minute and 34-seconds, which is very close to Chick-fil-A's desired 90 second processing time. The discrepancy in time between the 30 second average and the single vehicle processing time was attributed to the fact that when a longer queue is present, since the ordering time is quicker than the processing time, more orders can be taken while vehicles are waiting in the queue, which allows the internal staff extra time between orders to process the order, thereby increasing efficiencies and allowing the overall process to be expedited quicker.

A3. Drive-through Queueing Analysis

Based on the trip generation as described in the previous chapter, the highest peak hour traffic during the typical weekday is expected during the midday peak period at 215 total trips, or 110 entering and 105 exiting the site. In addition, the Saturday midday peak period is expected to generate 280 trips entering/exiting the site and consisting of 145 vehicles entering and 135 vehicles exiting the site. As requested by the City of Glendale, TADI completed a processing/queueing analysis to determine if the planned stacking distance provided in the proposed site plan would be adequate to accommodate this worst case Covid scenario.

As described in the previous section, Chick-fil-A's desired goal time for completing an order from ordering to delivery is 90-seconds per lane. Table 2 shows the analysis of the expected 110 weekday evening peak customers and the expected 145 Saturday midday peak customers over their respective highest peak hours based on an order completion time of the desired 90-second goal.

Table 2 Drive-thru Queueing Analysis 90-second order time		
Intersection	Weekday PM	Saturday Midday
Expected drive-through customers	110	145
Maximum vehicles waiting in queue	32	32
Subtotal	78	113
Vehicle processed at 90-seconds per order	89	89
Shortage (Excess)	(2)	33

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Chick-fil-A - Port Washington Road at Henry Clay Street, Glendale, Wisconsin May 26, 2021

CHAPTER V – TRAFFIC AND MODIFICATION ANALYSIS

PART A – SITE ACCESS & CIRCULATION

A1. Site Access

Access to the site is proposed via one full access driveway operating as the west leg of the signalized Henry Clay Street intersection with Port Washington Road.

A2. Drive-through Processing Time Analysis

As shown on the site plan in Exhibit 2-2, the overall site has been designed to allow for maximum stacking within the drive-through operation. As shown, assuming both lanes are utilized beyond the order kiosks, the drive-through operation allows for 32 cars to be stacked within the drive-through lanes from the entrance point within the site. In order to accommodate this number of vehicles, two stacking lanes were created on the east, north and west sides of the site. The purpose of the dual side design within this specific site is to accommodate queueing with two separate lanes for ordering, paying and pick-up of the order. Under normal/low-peak conditions, vehicles can order at either of the two ordering kiosks before tapering down to a single lane to pay and pick-up the food order. However, under peak periods, vehicles can stay in their respective lanes for ordering, paying and pick up as Chick-fil-A employees utilizing handheld tablets to take orders and payment and deliver food to the vehicles regardless of the lane they are positioned in.

Based on information provided by Chick-fil-A, the desired maximum time for completing an order from ordering to delivery is 120-seconds per lane with a goal of 90 seconds or less. However, based on field data completed as part of a previous study in the fall of 2020, the time to complete an order was significantly less than this desired maximum time, averaging approximately 30 seconds per order during high queuing times. To determine the average processing time, TADI completed a drive-through time test to determine queue and wait times during the weekday midday peak period of the day at two sites located in Brookfield Wisconsin. The two sites were visited on Monday, August 31 of 2020 and Tuesday, September 1 of 2020 between 12:00 and 1:00 pm. The study included determining the average order processing time for vehicles in a longer queue within the drive-through aisles at two existing locations. Both locations have been operational for several years, are located adjacent (within 1/2-mile) to interstate highway ramps and are located within a highway commercial district. The first restaurant is located within the Brookfield Square mall along Moorland Road in Brookfield and the second restaurant is located within the mixed-use commercial Pick-N-Save/Metro Market site along Capital Drive near 124th Street in Brookfield, adjacent to Wauwatosa.

At the time of observation for both stores, the operation at the drive-through window was supplemented with additional order takers to expedite the ordering/delivery process. Each drive-through lane had an order taker with a hand-held electronic pad to take orders. Additional staff handled cash transactions when a credit card wasn't used, and more staff delivered food near or beyond the pick-up window. The orders were taken as the vehicles entered the drive-through aisles with staff walking to each car. Food was delivered either at the pick-up window or at a staging area beyond the pick-up window so as not to block vehicles with smaller orders. Based on discussions with Chick-fil-A representatives, this operation is their standard operating procedure during peak hours of the day. It is noted that the proposed Chick-fil-A store in Glendale is expected to operate under similar operations with the exception of the additional dual drive-through lane design at the proposed site. At the proposed site in Glendale, both drive-through lanes will extend through the pick-up window. Therefore, during peak periods, the outside lane (furthest from the physical store building) can operate without the need to taper

TADI 11

* Statistic: Brain 2017
Sources: MSP, IRS, Professional Carwashing & Detailing,
US Census Bureau

of Cars in the US

253,000,000

Avg # of Washes/Car

9.09

Table 1

Queue Analysis for the proposed car wash at 20th St W

Parameter	Peak Saturday Service	Shortage(Excess)
Expected drive-through customers/hour	18	
Maximum vehicles waiting in provided storage	8	
Remaining cars to be queued	10	
Number of car washes at 3 min/wash/hour	20	(10)
Number of car washes at 4 min/wash/hour	15	(5)
Number of car washes at 5 min/wash/hour	12	(2)

Car Wash Industry Statistics

Car Wash Industry Statistics	Data	% of Industry
Car wash industry annual revenue	\$5.8 billion	
Car wash industry annual revenue including gas purchases	\$48 billion	
Annual car wash industry revenue growth from 2009-2011	1.60%	
Number of full-service carwashes	9,000	8%
Number of exterior conveyor washes	10,500	9%
Number of self-serve car washes	36,000	32%
Number of in-bay automatics	38,000	31%
Total number of carwashes	113,000	
Total number of car wash employees	\$50,000	
Number of cars washed annually	2.3 billion	
Number of cars washed per day	6.3 million	
Percent of car washes that also dispense gasoline	60%	
Percent of car washes owned by small business persons	90%	
Estimate number of gallons of water used on each car	38 gallons	
Average annual number of gallons of water lost per car wash	48,000	

Self-Serve Statistics for a Single Operation

Average number of cars washed annually	19,947
Average sale per vehicle	\$6.34
Average profit per vehicle	\$4.35
Average annual profit	\$86,531
Average annual revenue	\$139,000

Self-Serve Statistics for a Single Operation (Wash or Coin-Op Style)

Average monthly revenue per bay	\$1,489
Average percent of time bay is in use	10%
Average annual revenue for a 2-bay operation	\$41,000

Internal Carwash Statistics for a Single Operation

Average number of cars washed per year	45,750
Average price per carwash	13%
Average annual revenue	\$686,250

Internal Carwash Days Per Percent of Weekly Washes

Saturday	29%
Friday	20%
Sunday	12%
Monday	12%

Seasonal Seasons of the Year Per Percent of Sales

Winter	32%
Spring	22%
Summer	20%
Fall	18%

REFERENCES

- (1) Car Wash Industry Statistics
- (2) Chick-Fil-A Restaurant Traffic Impact Analysis by TADI, May 26, 2021, Pages 32-34



February 14, 2023

QUEUE ANALYSIS FOR PROPOSED CAR WASH ON 20TH ST W, AIN 3123-005-042, LANCASTER, CA

This firm was contacted to perform queue analysis per the City of Lancaster's request for a proposed car wash located on 20th St W in the City of Lancaster. The attached report describes sources of data, analysis, and findings.

Our analysis used the Chick-Fil-A vehicle queuing characteristics, together with car wash cycle durations that are most common for this type of facility.

It is our conclusion that the 200' storage bay designed for this project can accommodate the predicted demand for the proposed car wash without spilling beyond private property for all wash options offered. In fact, an excess of up to 10 vehicle queuing spaces are expected to be available, depending on the wash cycle selected.

Please refer to the attached analysis for detailed assumptions and methodology supporting our findings.

Respectfully submitted,

Manoocheh Adami
Manoocheh Adami, PE, TE



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Chick-fil-A - Port Washington Road at Henry Clay Street, Glendale, Wisconsin May 26, 2021

As shown in Table 2, assuming the desired goal time of 90-seconds to process the orders, an excess of 2 storage vehicle queuing spaces are expected to be available at the proposed site during the typical weekday evening peak period and a shortage of 33 vehicle queuing spaces would be needed above and beyond what is currently being provided at the proposed site during the typical Saturday midday peak period. As stated, this analysis is based on Chick-fil-A's desired goal time for completing a drive-through order of 90-seconds per lane. However, and as previously described, the highest order time based on the existing Brookfield store site time analysis completed for a previous study was approximately 40-seconds when a queue is present within the drive-through lanes. To provide a factor of safety, an order time of 45-seconds was utilized in the calculations below. Table 3 shows the analysis of the expected 110 customers over the highest weekday evening peak hour and the expected 145 customers over the highest Saturday midday peak hour based on an order completion time of 45-seconds at the drive-through operation.

Table 3 Drive-thru Queueing Analysis 45-second order time		
Intersection	Weekday PM	Saturday Midday
Expected drive-through customers	110	145
Maximum vehicles waiting in queue	32	32
Subtotal	78	113
Vehicle processed at 45-seconds per order	160	160
Shortage (Excess)	(82)	(47)

As shown in Table 3, assuming a 45-second processing time (based on actual timings taken as part of a previous study) which is what would be expected at this site based on current processing practices being utilized, an excess of 82 vehicle queuing spaces are expected to be available at the proposed site during the typical weekday evening peak period and an excess of 47 vehicle queuing spaces are expected to be available at the proposed site during the typical Saturday midday peak period. Therefore, utilizing actual recorded order processing times, the storage is expected to be adequate to accommodate the demands at the proposed restaurant with the site plan as shown.

PART B – CAPACITY LEVEL OF SERVICE ANALYSIS

B1. Year 2021 Build Traffic Operations – No Modifications

Table 4 shows the year 2021 full build (with Chick-fil-A) traffic peak hour operating conditions and maximum queues at the study area intersections. The analysis was performed using the year 2021 full build (with Chick-fil-A) traffic volumes (Exhibit 4-1), the existing transportation demand (Exhibit 3-1) and the existing traffic signal timings included in the appendix.

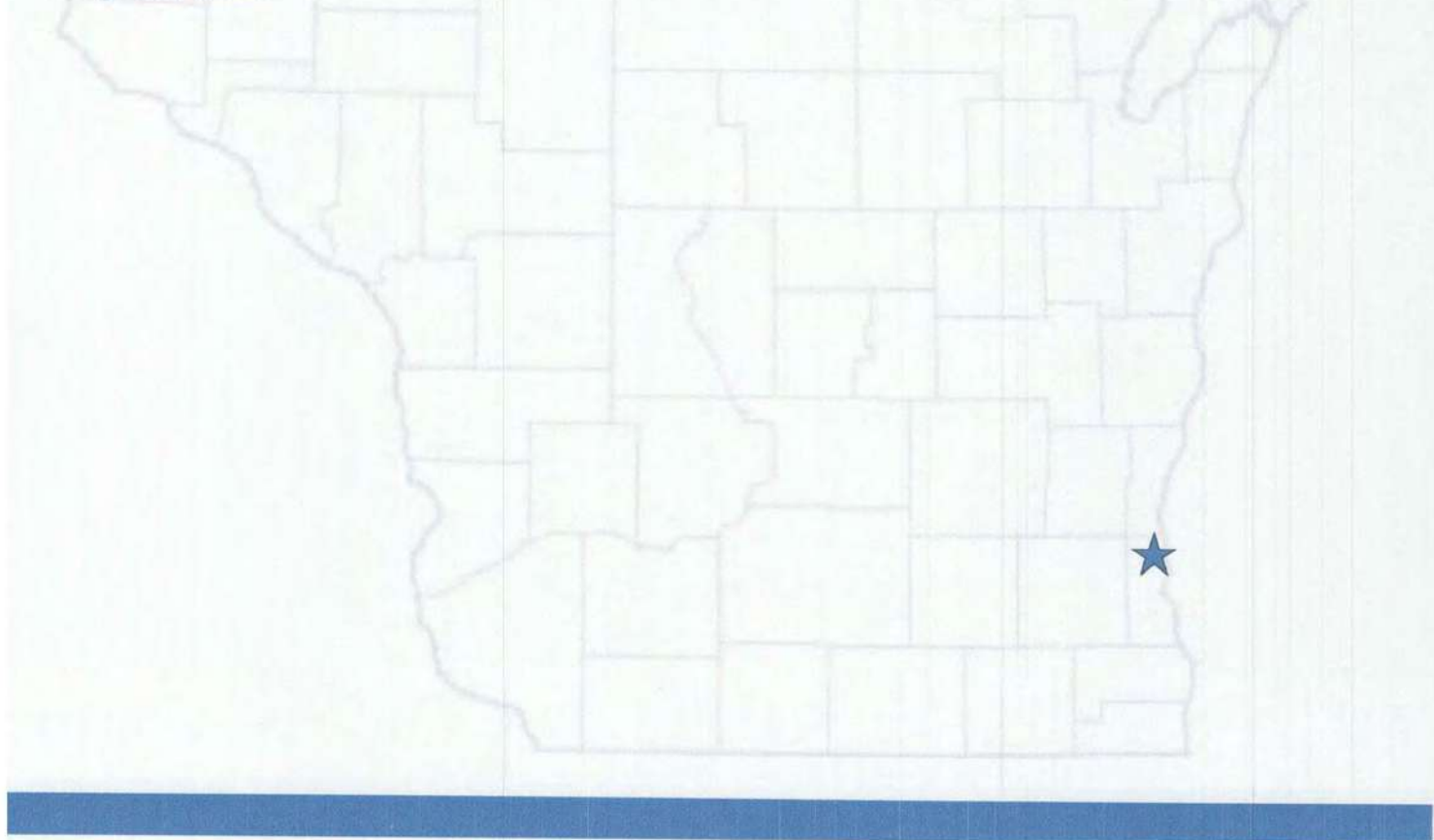
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Chick-fil-A Restaurant Traffic Impact Analysis

City of Glendale
Milwaukee County, Wisconsin

May 26, 2021





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NOT FOR CONSTRUCTION

NO.	ISSUE	DATE
1	Revision 1	Date 1

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**EXISTING SITE
PLAN & STREET
SECTION**

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

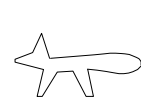
ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007
SCALE:
As indicated
DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER

A1-200



ELECTRICAL NOTES:

- POWER POLES AND LINES UNDER 66 KV NEED TO BE UNDER GROUND PER CITY MUNICIPAL CODE, CHAPTER 13.20, ARTICLE II, ENTITLED INSTALLATION / RELOCATION FOR NEW / EXPANDED DEVELOPMENT OF OVERHEAD UTILITIES. CONSULT WITH SEE ON REMOVING GUY POLES AND GUY WIRES.

TRAFFIC NOTES:

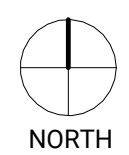
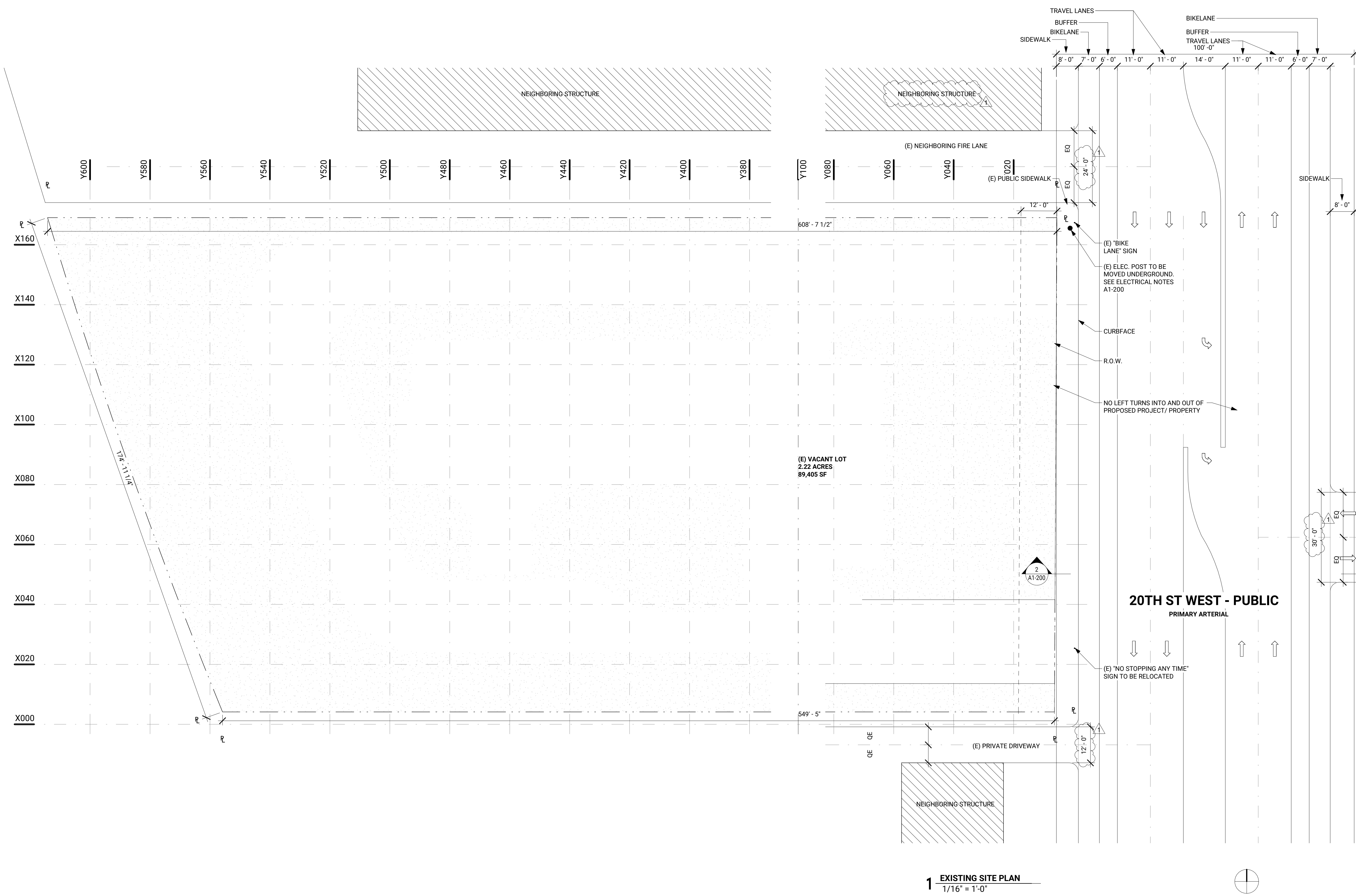
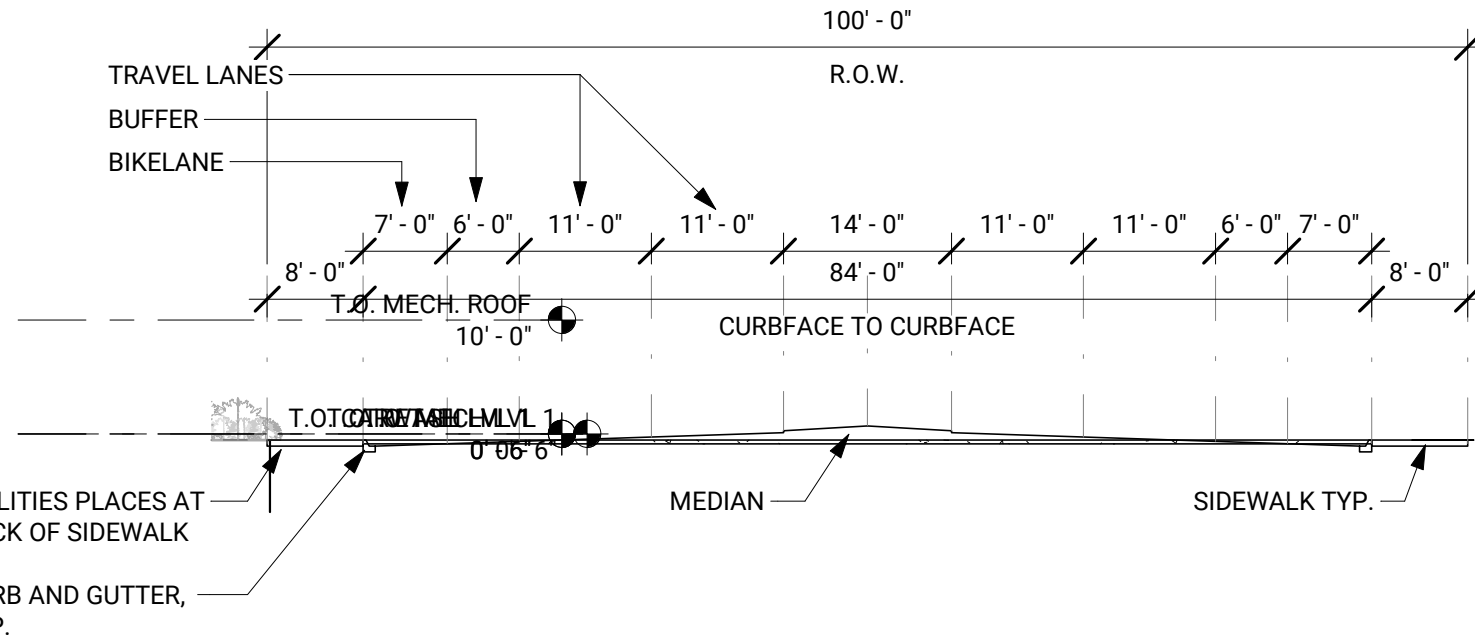
- THE STREET SECTION FOR ALL DRIVE AISLES WITH TWO-WAY TRAFFIC SHALL BE SHOWN WITH A MINIMUM WIDTH OF 26 FEET. ONE-WAY TRAFFIC DRIVE AISLES SHALL HAVE A MINIMUM WIDTH OF 20 FEET.
- NO ON-STREET PARKING WILL BE ALLOWED ANYWHERE WITHIN THE DEVELOPMENT WITH THE EXCEPTION OF THE DESIGNATED GUEST PARKING SPACES.
- ALL PROPOSED PROJECT SIGNS SHALL BE LOCATED OUTSIDE THE PROPOSED PUBLIC RIGHT-OF-WAY.
- WIDTHS AND CENTERLINE STATIONS OF ALL PROPOSED DRIVEWAY LOCATIONS WITHIN AND ABUTTING THE PROJECT SITE SHALL BE SHOWN TO CONFORM WITH THE CITY OF LANCASTER ENGINEERING DESIGN GUIDELINES (SECTION 2.2.10.11.3) AND CITY OF LANCASTER MUNICIPAL CODE.
- DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM CLEARANCE DISTANCE OF FIVE FEET TO ADJACENT DRIVEWAYS UNLESS A JOINT USE COMMERCIAL DRIVEWAY LOCATED AT A COMMON PROPERTY LINE IS TO BE USED, PER THE CITY OF LANCASTER ENGINEERING DESIGN GUIDELINES (SECTION 2.2.10.11.3).

LEGEND:

- NEW WALL
- DEMO WALL
- EXISTING WALL
- PROPERTY LINE
- ROOF OVERHEAD
- SETBACK LINE
- THR RATED PARTITION, SEE A6-302
- PARTITION TAG: REFER TO SHEET A6-301

DRAINAGE LEGEND:

- GENERAL FRANAIGE ARROW 2% TYPICAL AT CONCRETE WALKWAYS, LANDINGS AND DRIVEWAY. PROVIDE A MINIMUM GRADE FALL OF 1" WITHIN THE FIRST 10 FEET OF FOUNDATION WALL. CRC401.3
- THE LOWEST FINISH FLOOR ELEVATION OF ALL HABITABLE STRUCTURES SHALL BE MINIMUM OF ONE-FOOT ABOVE THE MAXIMUM WATER LEVEL RESULTING FROM A CAPITAL FLOOD.
- PROPERTY LOCATED IN FLOOD ZONE X, OUTSIDE OF RISK AREA.



4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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LEGEND:

- NEW WALL
- DEMO WALL
- EXISTING WALL
- PROPERTY LINE
- ROOF OVERHEAD
- SETBACK LINE
- 1HR RATED PARTITION, SEE A6-302
- PARTITION TAG: REFER TO SHEET A6-301

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- THE LOWEST FINISH FLOOR ELEVATION OF ALL HABITABLE STRUCTURES SHALL BE MINIMUM OF ONE-FOOT ABOVE THE MAXIMUM WATER LEVEL RESULTING FROM A CAPITAL FLOOD.
- PROPERTY LOCATED IN FLOOD ZONE X, OUTSIDE OF RISK AREA.

ENVIRONMENTAL NOTES:

- PER STATE LAW ANY BUSINESS GENERATING GREATER THAN 2 CUBIC 2 YARDS OF WASTE MUST HAVE AN ESTABLISHED FOOD AND ORGANIC RECYCLING PROGRAM AND ANY BUSINESS GENERATING 4 CUBIC YARDS OF WASTE MUST HAVE A RECYCLING PROGRAM.

LANDSCAPE NOTES:

- THERE MUST BE ONE TREE FOR EVERY 4 PARKING SPACES (WITH A MINIMUM TREE WELL OF 5'X5'). THERE MUST ALSO BE ONE FINGER PLANTER FOR EVERY 12 PARKING SPACES OF 9'X18'. (SEE TREE COUNT ABOVE)
- CANOPY TREES IN PARKING AREAS SHOULD HAVE 30 TO 40-FOOT CANOPY POTENTIAL AND BE SIZED AT 24-INCH BOX SIZE AT THE TIME OF INSTALL. ALL CORNER AND ROW-END PLANTERS SHOULD BE 36 OR 48-INCH BOX TREES.
- TREES: AT LEAST 10% OF ALL TREES INSTALLED SHALL BE FROM A 24-INCH BOX OR LARGER, WHICH CAN HELP AREAS OF BLANK WALLS AND TO EMPHASIZE FOCAL POINTS WITHIN THE DEVELOPMENT. CANOPY TREES IN PARKING AREAS SHOULD HAVE 30 TO 40-FOOT CANOPY POTENTIAL AND BE SIZED AT 24-INCH BOX SIZE AT THE TIME OF INSTALL. ALL CORNER AND ROW-END PLANTERS SHOULD BE 36 OR 48-INCH BOX TREES.
- SHRUBS: NO OTHER TREE CAN BE LESS THAN 15 GALLON SIZE, AT LEAST 75% OF ALL SHRUBS SHALL BE OF 5-GALLON SIZE, AND NO SHRUB SHALL BE LESS THAN 10 GALLON SIZE.
- GROUND COVERS: GROUND COVERS SHALL BE PLANTED NO FURTHER THAN 6 INCHES APART ON CENTER.

TREE COUNT:

THERE MUST BE ONE TREE FOR EVERY 4 PARKING SPACES (WITH A MINIMUM TREE WELL OF 5'X5'). THERE MUST ALSO BE ONE FINGER PLANTER FOR EVERY 12 PARKING SPACES OF 9'X18'.

TOTAL PROPOSED PARKING SPACES (52)
52 / 4 = 13 MINIMUM TREES REQUIRED WITH A WELL OF 5'X5'
52 / 12 = 4.3 MINIMUM FINGER PLANTERS REQUIRED FOR EVERY 12 PARKING SPACES
13 + 4.3 = 17.3

TOTAL PROPOSED TREES/ LANDSCAPE / FINGER PLANTERS (36)

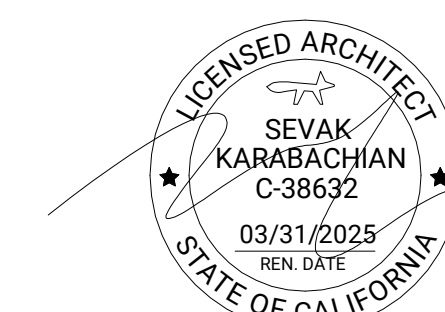
LANDSCAPE LEGEND:

- DESERT MUSEUM PALO VERDE TREE 36" BOX MIN.
- WESTERN REDBUD 24" BOX MIN.
- DEER WEED 5 GALL MIN.
- FLAX LILY OR SIM. 1 GALL MIN.
- HUNTINGTON CARPET ROSEMARY #2 CONTAINER (6 QT) MIN.

PLANTING SCHEDULE					
PLANT	COMMON NAME	MIN. SIZE	COUNT	CA NATIVE	PLANT FACTOR
<varies>			226		
AGAVE AMERICANA	AGAVE	1 GALLON	1	YES	0.1
ACMISPON GLABER (LOTUS SCOPARIUS)	DEER WEED	1 GALLON	1	YES	0.1
Parkinsonia Desert Museum (Cercidium)	DESERT MUSEUM PALO VERDE	36" BOX	35	YES	0.1 - 0.3

LANDSCAPE CALCULATION	
LOT AREA	95,729 SF
TOTAL BUILDINGS AREA	6,128 SF
TOTAL AREA REMAINING	89,601 SF
TOTAL REQUIRED	13,440 SF
(15% OF REMAINING AREA TO BE LANDSCAPED)	
TOTAL LANDSCAPE PROVIDED	13,474 SF

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE: PRELIMINARY LANDSCAPE PLAN AND DRAINAGE

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

As indicated

DRAWN BY:

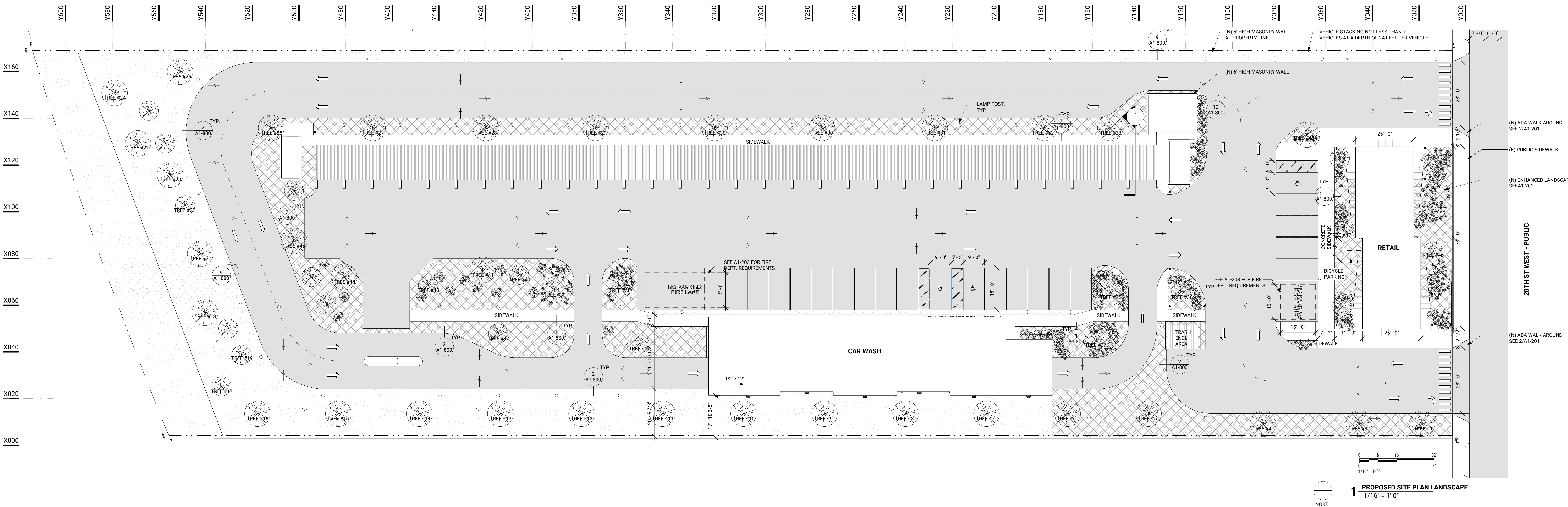
DATE:

11/15/2024

SHEET NUMBER:

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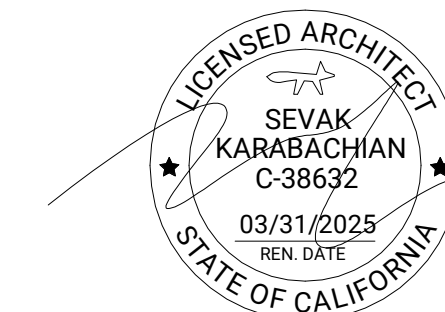
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1 PROPOSED SITE PLAN LANDSCAPE
1/16" = 1'-0"

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**FIRE DEPARTMENT
REQUIREMENT**

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

As indicated

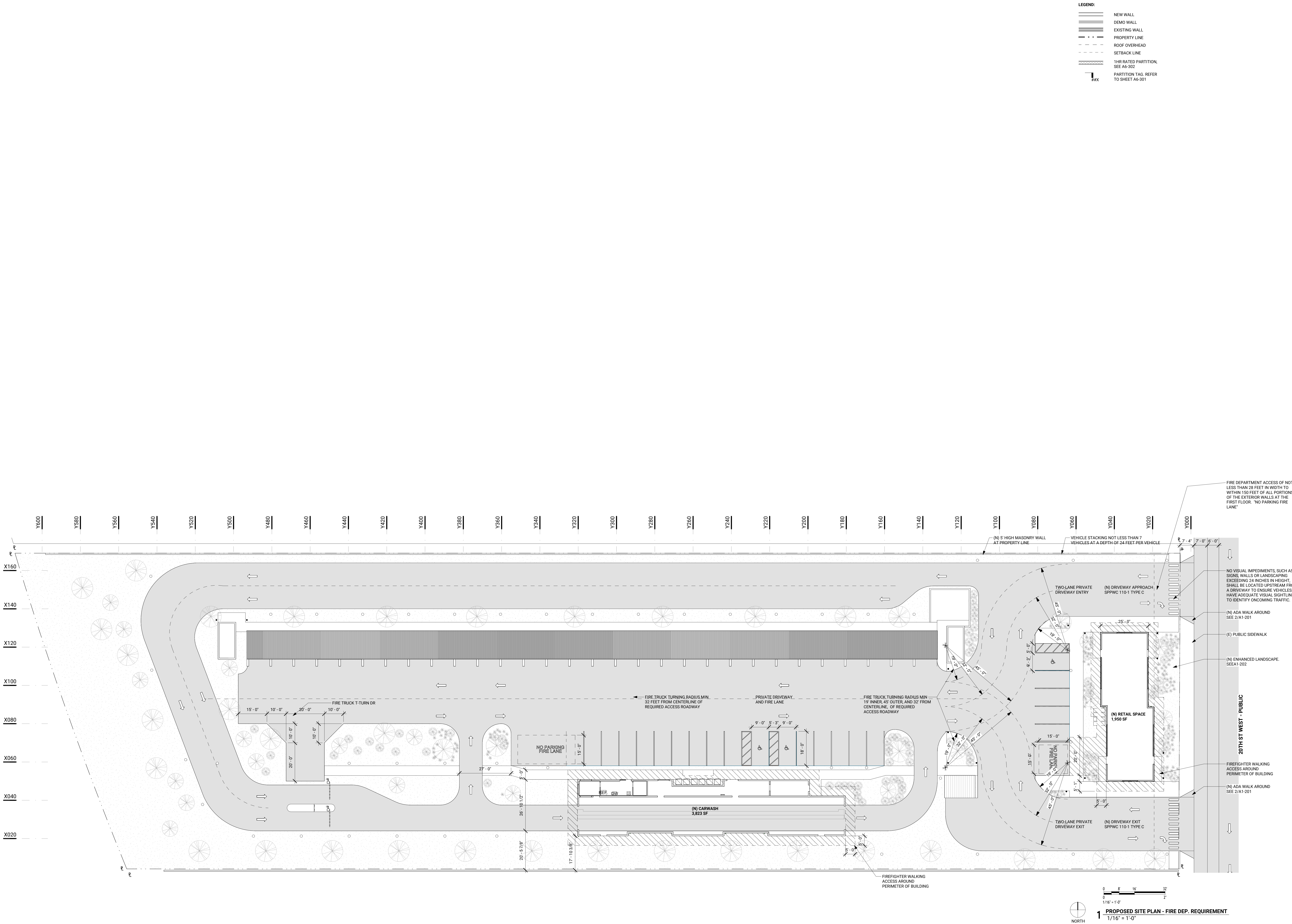
DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

A1-203



1 PROPOSED SITE PLAN - FIRE DEP. REQUIREMENT

1/16" = 1'-0"

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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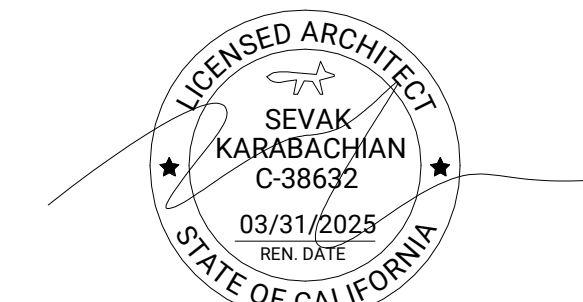
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NO.	ISSUE	DATE
1	Revision 1	Date 1



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
SITE DETAILS

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

As indicated

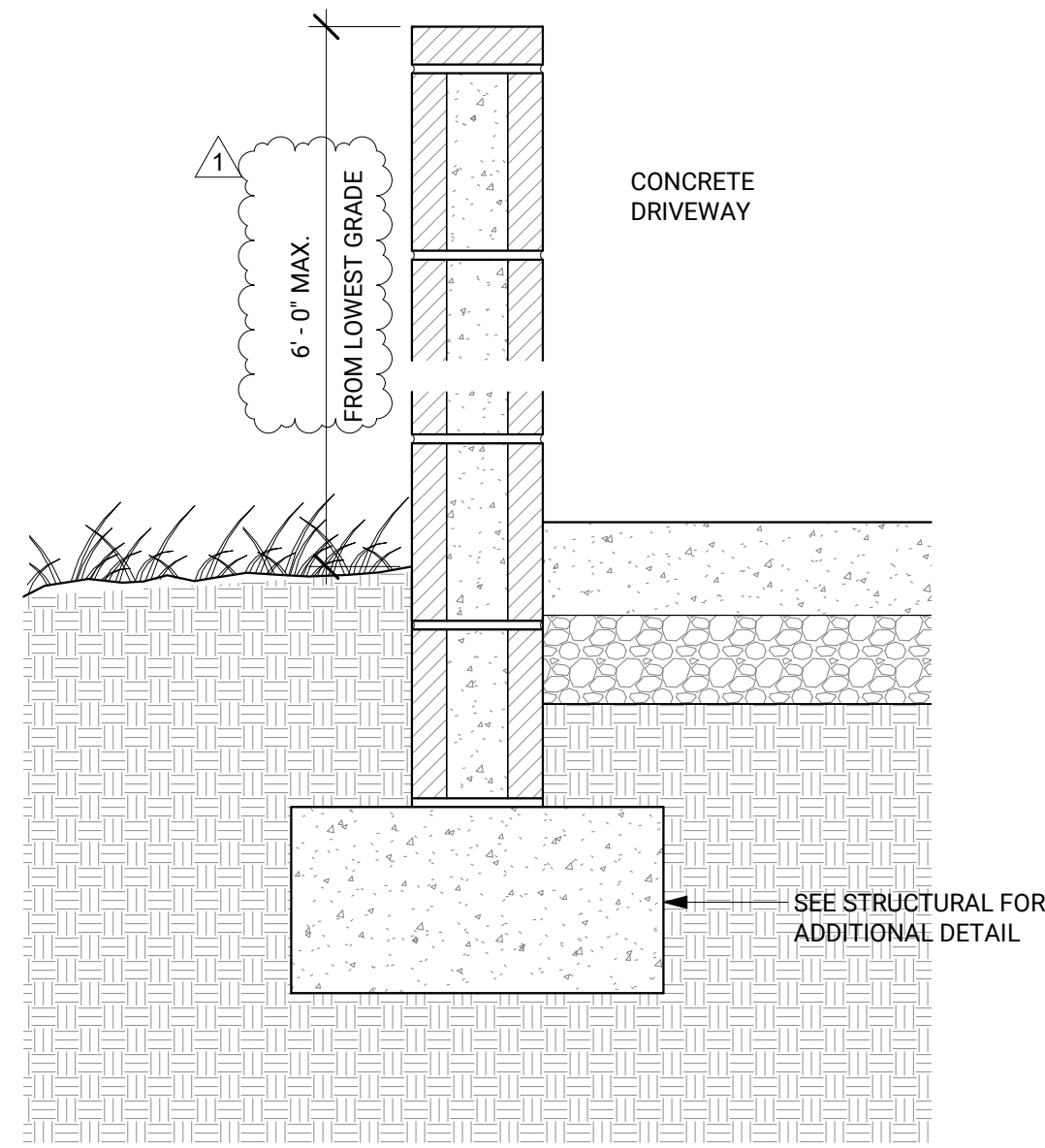
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DATE:

11/15/2024

SHEET NUMBER:

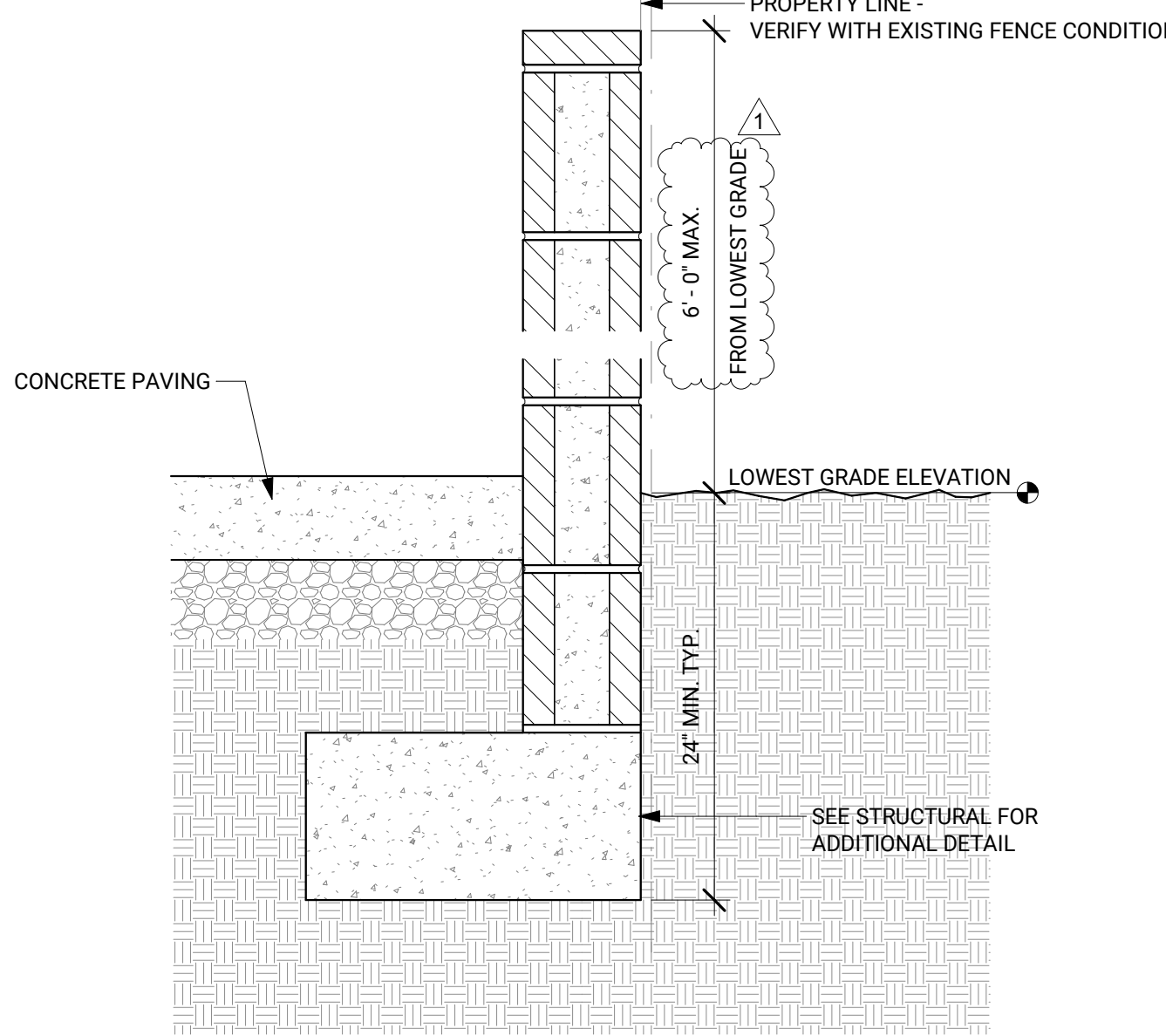
A1-800



CMU WALL AT DRIVEWAY

SCALE
1 1/2" = 1'-0"

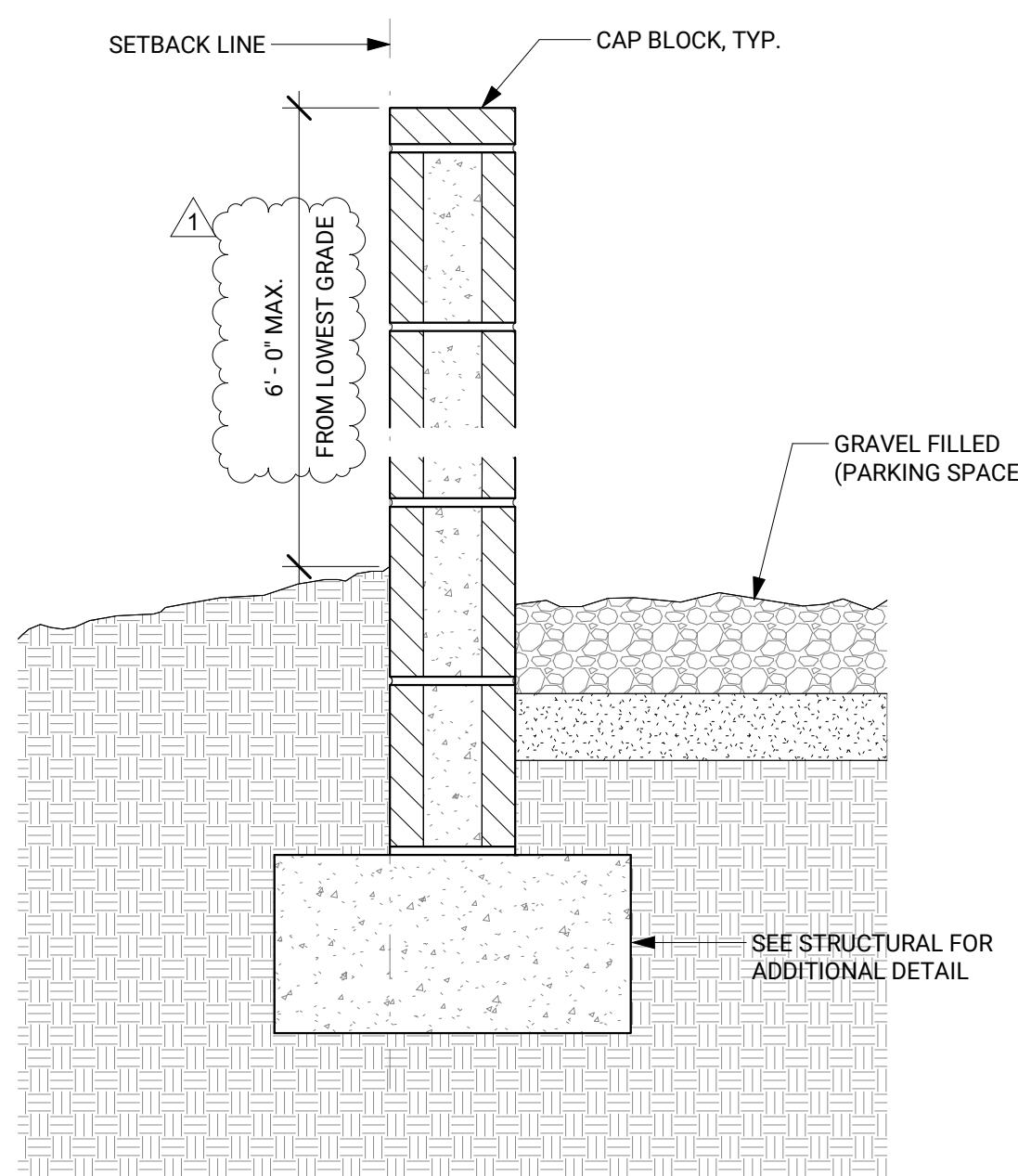
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CMU WALL AT ADJACENT PROP WITH SLAB

SCALE
1 1/2" = 1'-0"

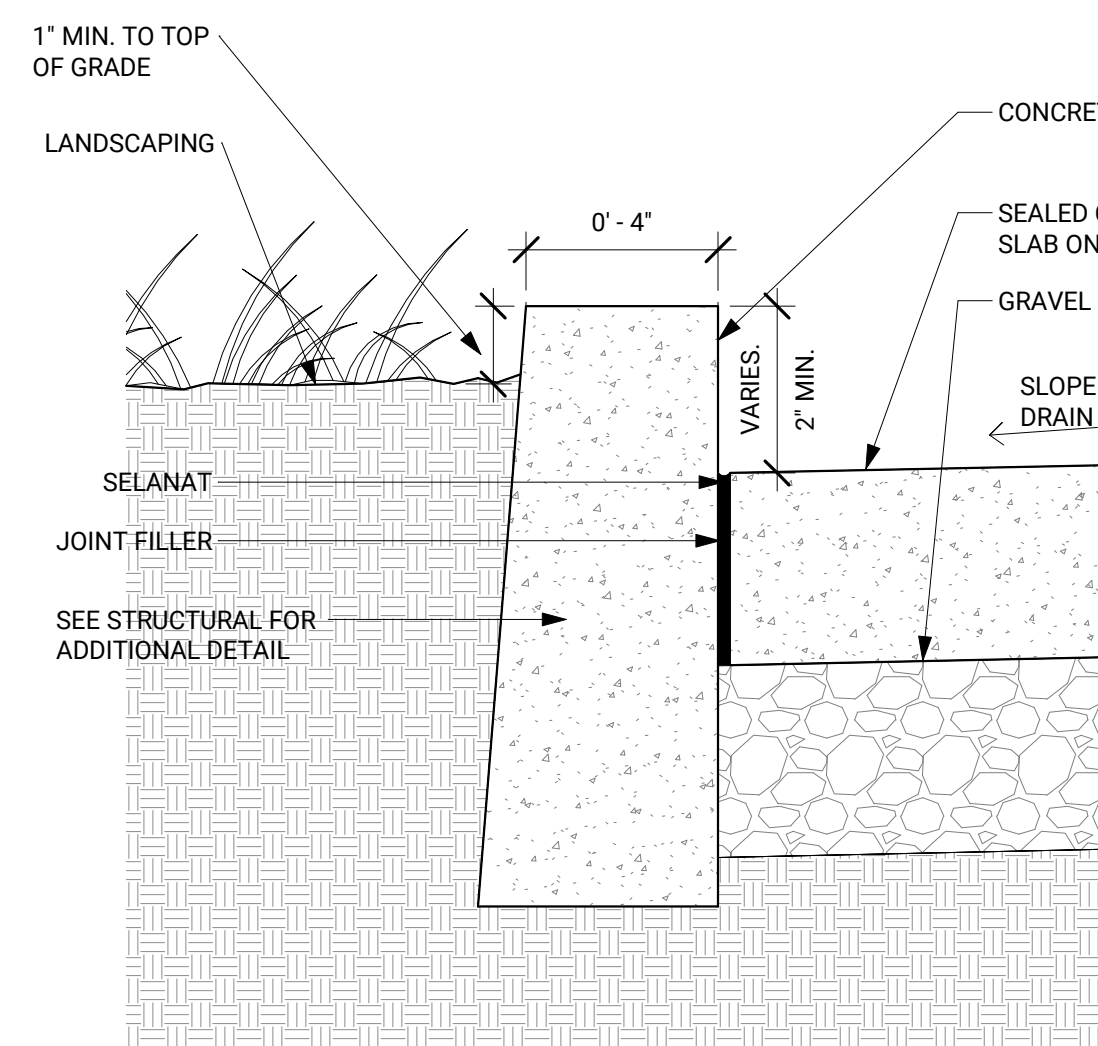
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CMU WALL AT GRAVEL

SCALE
1 1/2" = 1'-0"

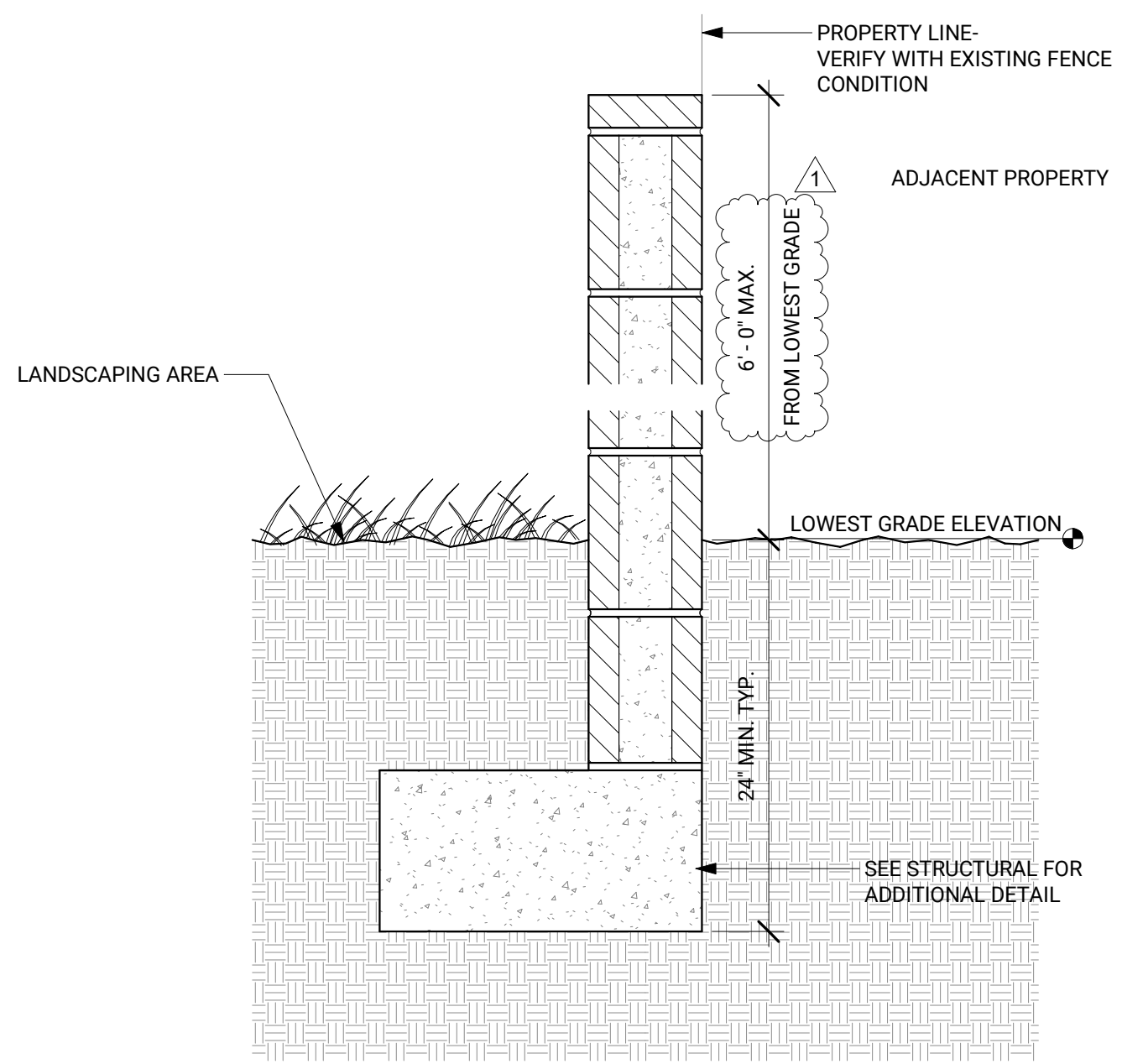
6



CONCRETE CURB AT WALKWAY

SCALE
3" = 1'-0"

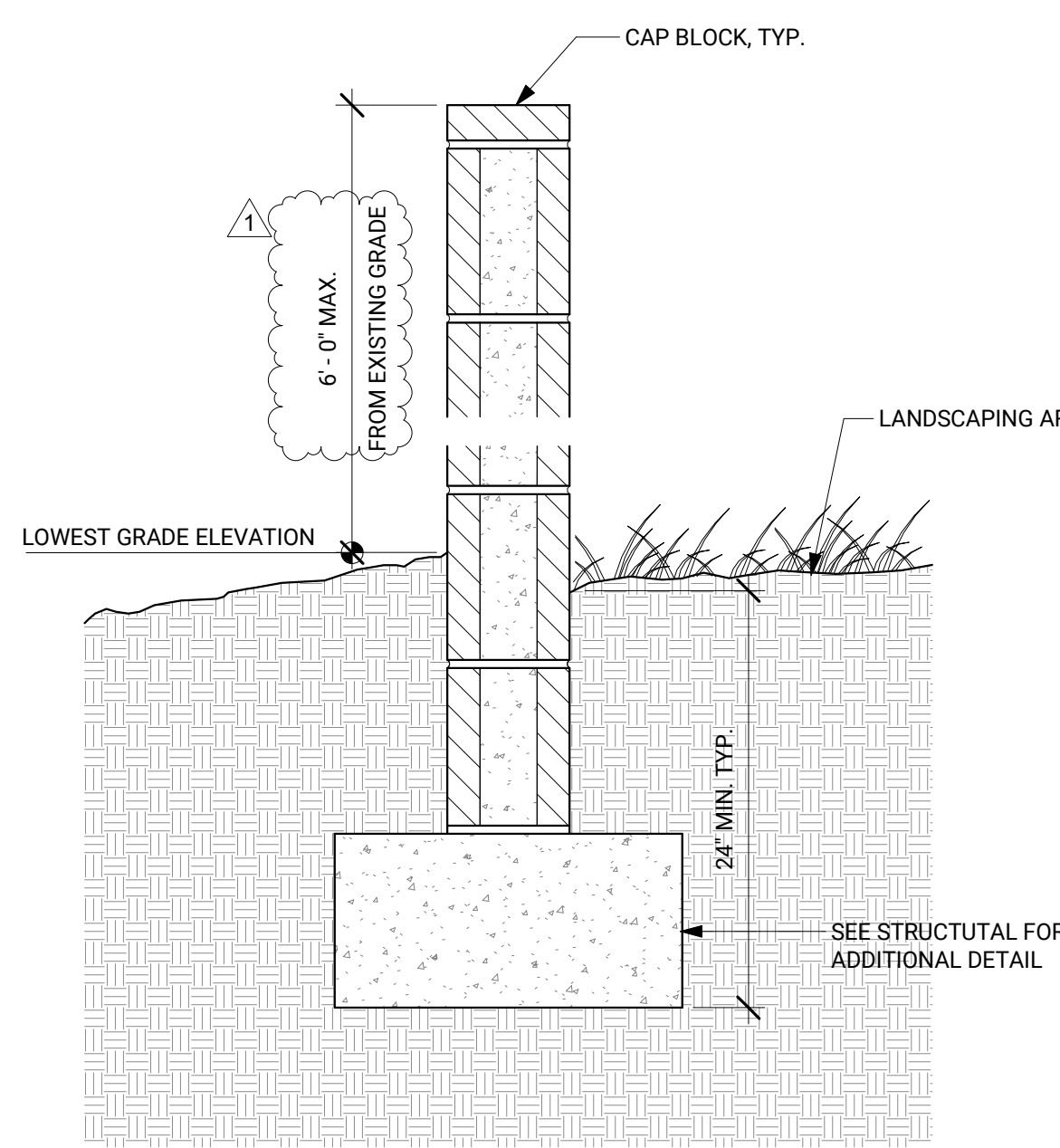
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CMU WALL AT ADJACENT PROPERTY

SCALE
1 1/2" = 1'-0"

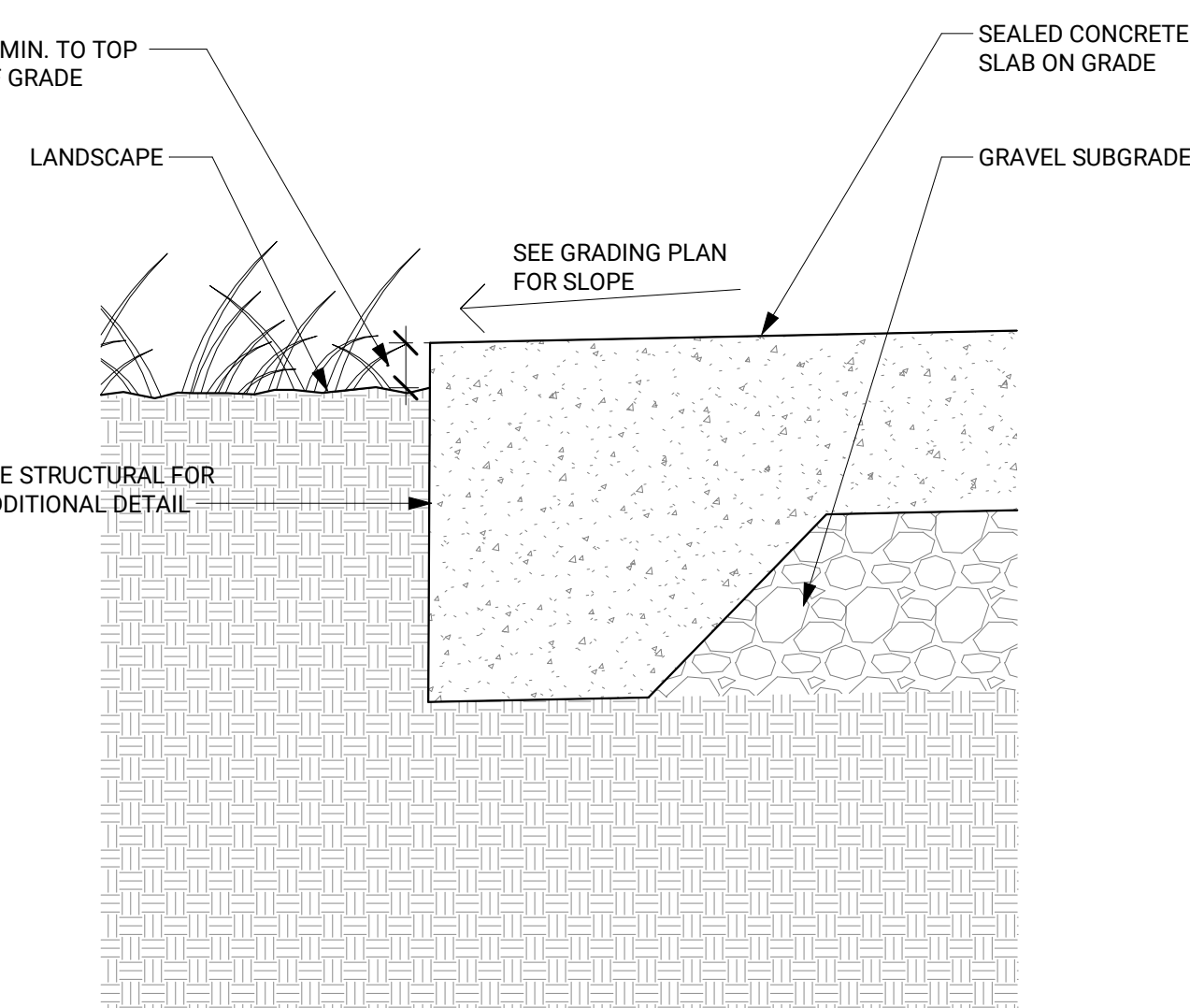
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CMU WALL AT LANDSCAPE

SCALE
1 1/2" = 1'-0"

5



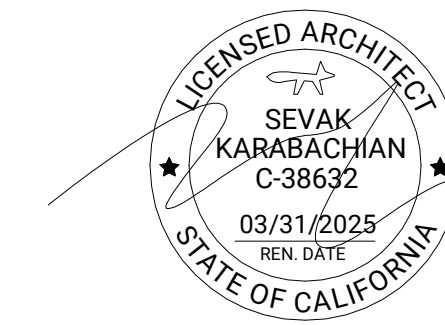
CONCRETE SLAB AT LANDSCAPE

SCALE
3" = 1'-0"

1

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
PLANS - CARWASH

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

As indicated

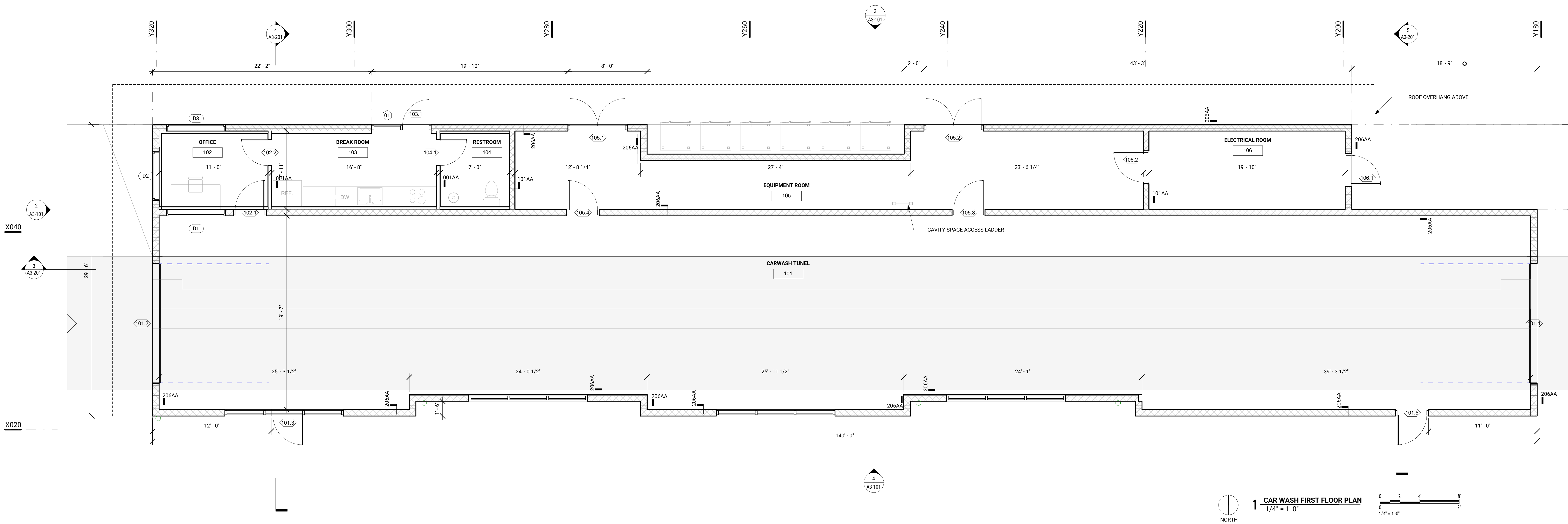
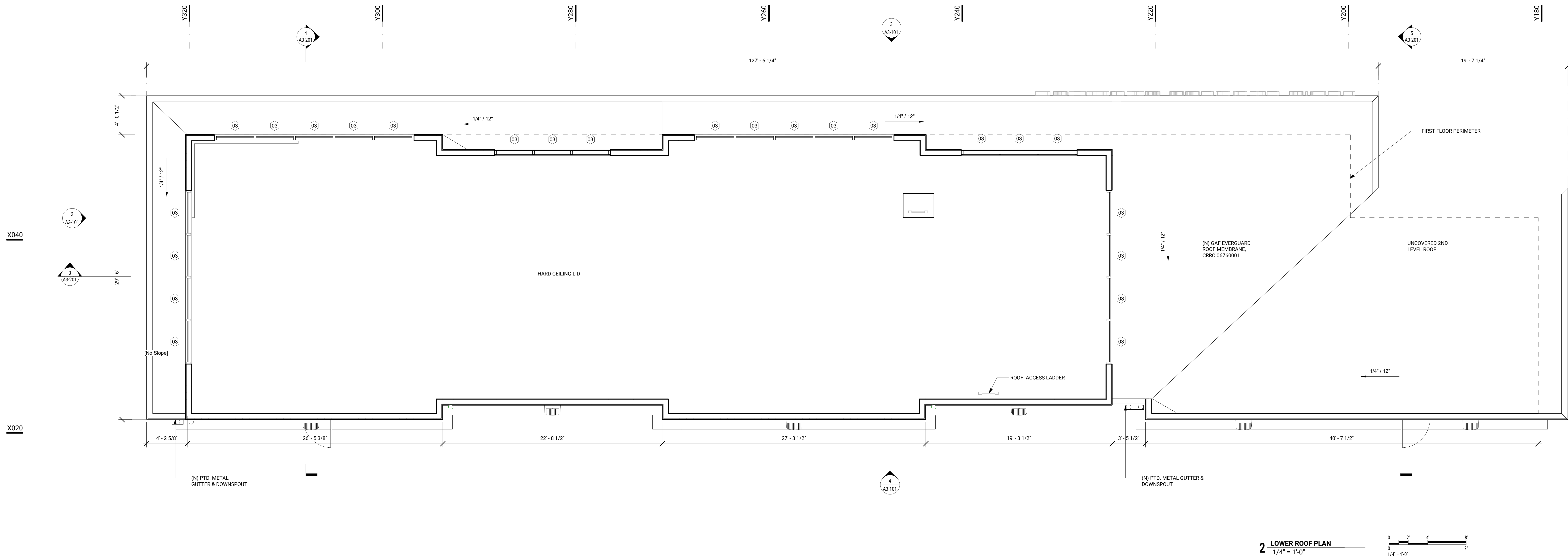
DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

A2-101



PLUMBING NOTES:

- EFFECTIVE JAN 1, 2015 CALIFORNIA SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN, 1994 WITH WATER CONSERVING PLUMBING FIXTURES.
- SHOWER STALLS AND BATHTUB WALLS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE FOR A MINIMUM OF 6'-0" ABOVE THE FLOOR (CBC 1210, CRC R307.2).
- CEMENT, FIBER CEMENT, FIBER MAT REINFORCED CEMENT, GUSS MAT GYPSUM OR FIBER REINFORCE GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS (CRC R102.4.2).
- SHOWERS AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC (CPC 408.3).
- MAXIMUM FLOW RATES FOR ALL PLUMBING FIXTURES PER CGSBC 4.303:
5.1 WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH
5.2 SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS PER MINUTE AT 80PSI
5.3 LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI
5.4 KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI

GENERAL NOTES:

- EXTERIOR DIMENSIONS ARE TO FACE OF FOOTING. DIMENSIONS TO INTERIOR WALLS ARE TO CENTERLINE OF STUD. CONTRACTOR TO VERIFY ALL DIMENSIONS IN REGARD TO CENTERLINE AND ALIGN NOTES.
- ALL PROPOSED PROJECT SIGNS SHALL BE LOCATED OUTSIDE THE PROPOSED PUBLIC RIGHT-OF-WAY.

BUILDING NOTES:

- ALL EQUIPMENT AND ACCESS LADDERS SHALL BE SHOWN ON THE PLANS AND LOCATED INTERIOR TO THE PROPOSED BUILDING. ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM PUBLIC VIEW BY PARAPET WALLS OR OTHER ARCHITECTURAL FEATURES. NO EXTERIOR GROUND-MOUNTED EQUIPMENT OR EXTERIOR ROOF ACCESS LADDERS SHALL BE PERMITTED.

MECHANICAL NOTES:

- BATHROOMS THAT CONTAIN A TUB, SHOWER OR TUB/SHOWER MUST HAVE EXHAUST FANS CONTROLLED BY A HUMIDISTAT.
- MECHANICAL EQUIPMENT (WATER HEATERS, HVAC, ET) UNDER SEPARATE REVIEW AND PERMITS.

UTILITY NOTES:

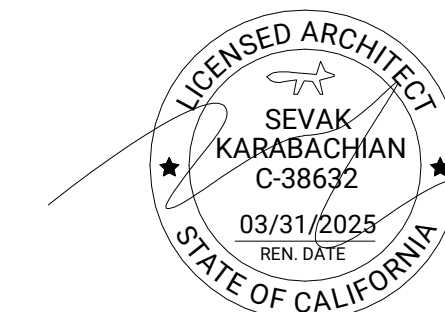
- MANHOLE COVERS WILL BE 30" PAMREX OR EQUIVALENT AND LABELED "CITY OF LANCASTER," "SEWER," OR "STORM DRAIN" FOR NEW INSTALLED MANHOLES.
- JUNCTION STRUCTURES WILL NEED MANHOLES, 28" PAMREX OR EQUIVALENT.

LEGEND:

- NEW WALL
- DEMO WALL
- EXISTING WALL
- PROPERTY LINE
- ROOF OVERHEAD
- SETBACK LINE
- 1HR RATED PARTITION, SEE A6-302
- PARTITION TAG, REFER TO SHEET A6-301

4' x 5.5' BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

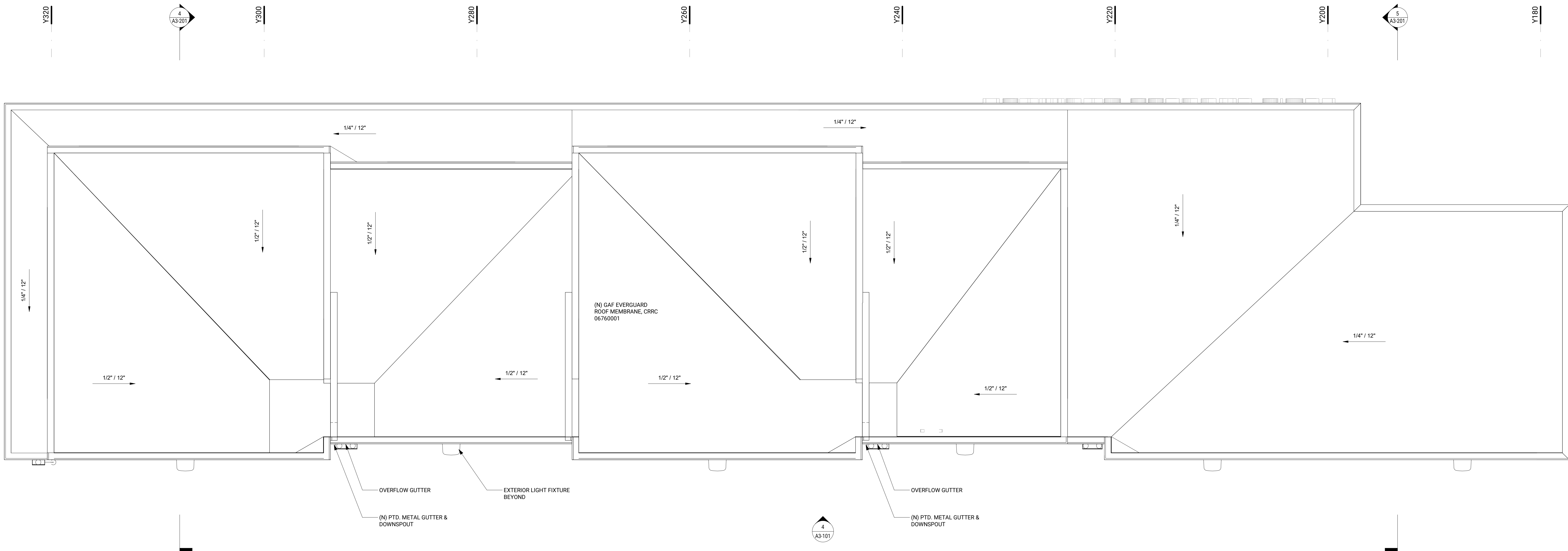
NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**ROOF PLAN -
CARWASH**



LEGEND:

	NEW WALL
	DEMO WALL
	EXISTING WALL
	PROPERTY LINE
	ROOF OVERHEAD
	SETBACK LINE
	1HR RATED PARTITION, SEE A6-302
	PARTITION TAG, REFER TO SHEET A6-301

1 CAR WASH ROOF PLAN
1/4" = 1'-0"

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

As indicated

DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

A2-102



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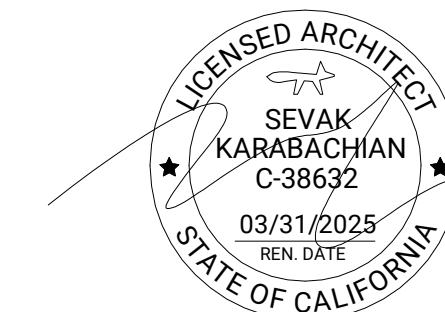
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NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
PLANS - RETAIL

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007
SCALE:
As indicated
DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER

A2-103

LEGEND:

- NEW WALL
- DEMO WALL
- EXISTING WALL
- PROPERTY LINE
- ROOF OVERHEAD
- SETBACK LINE
- 1HR RATED PARTITION, SEE A6-202
- PARTITION TAG, REFER TO SHEET A6-301

GENERAL NOTES:

- EXTERIOR DIMENSIONS ARE TO FACE OF FOOTING. DIMENSIONS TO INTERIOR WALLS ARE TO CENTERLINE OF STUD. CONTRACTOR TO VERIFY ALL DIMENSIONS IN REGARD TO CENTERLINE AND ALIGN NOTES.
- ALL PROPOSED PROJECT SIGNS SHALL BE LOCATED OUTSIDE THE PROPOSED PUBLIC RIGHT-OF-WAY.

BUILDING NOTES:

- CONTRACTOR TO VERIFY 30" MIN CLEAR HEADROOM PROVIDED AT ATTIC ACCESS OPENING (R807.1)

MECHANICAL NOTES:

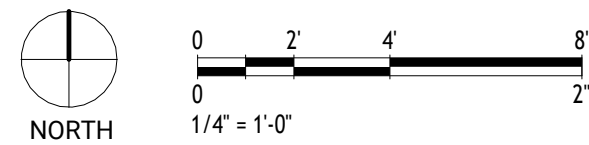
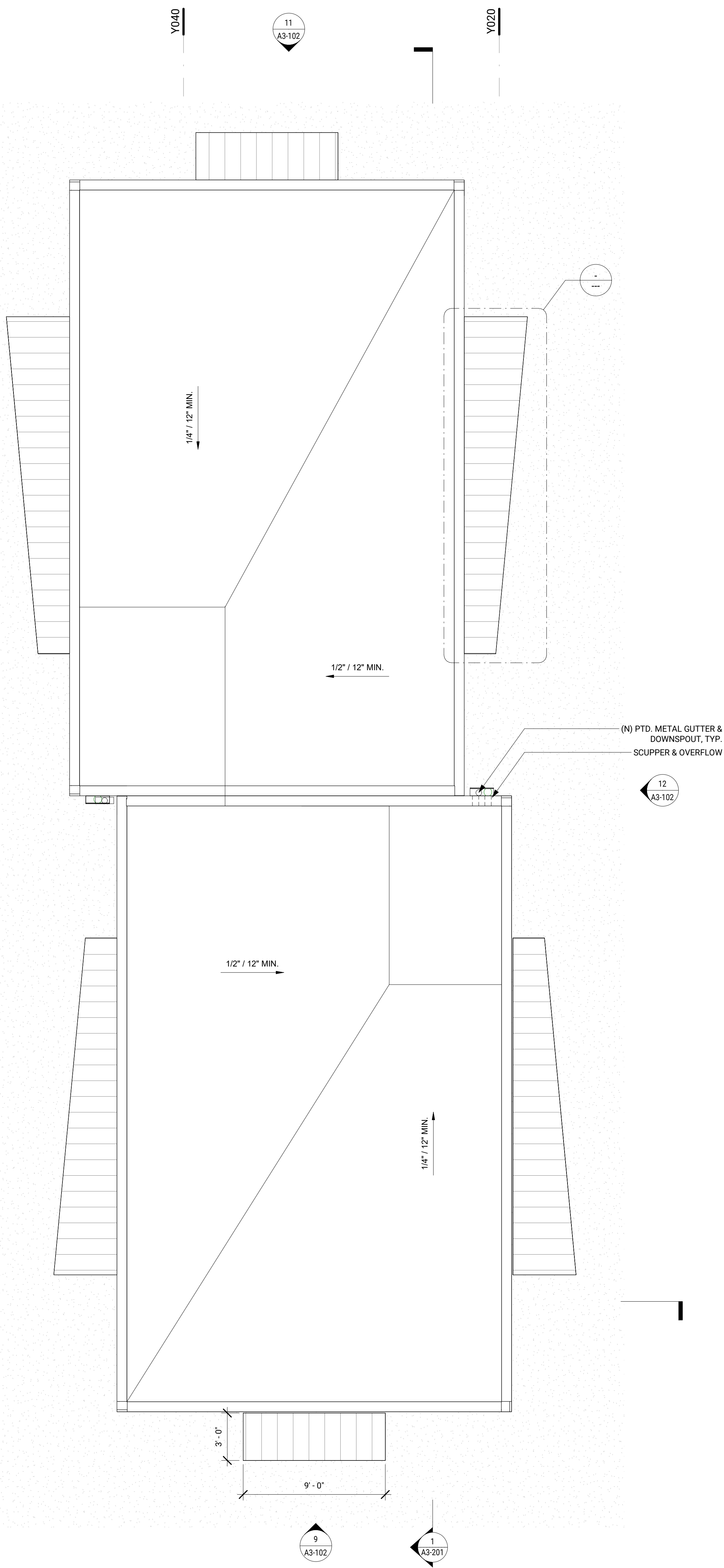
- BATHROOMS THAT CONTAIN A TUB, SHOWER OR TUB/SHOWER MUST HAVE EXHAUST FANS CONTROLLED BY A HUMIDISTAT.
- MECHANICAL EQUIPMENT (WATER HEATERS, HVAC, ET.) UNDER SEPARATE REVIEW AND PERMITS.

PLUMBING NOTES:

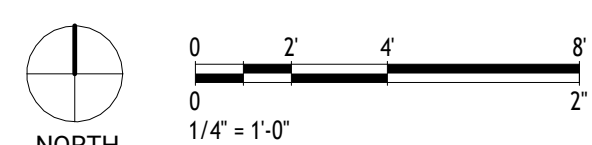
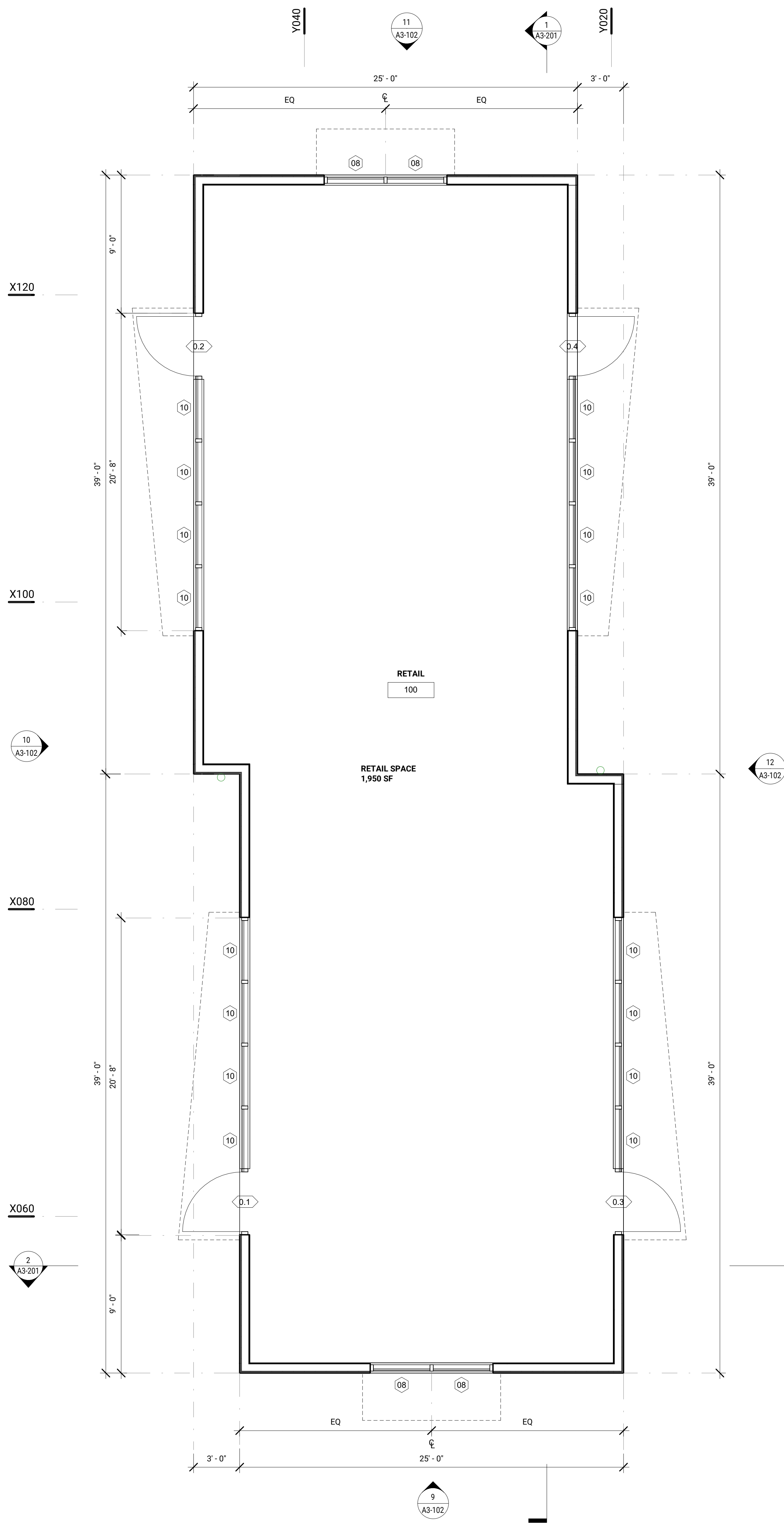
- EFFECTIVE JAN 1, 2015 CALIFORNIA SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN, 1994 WITH WATER CONSERVING PLUMBING FIXTURES.
- SHOWER STALLS AND BATHTUB WALLS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE FOR A MINIMUM OF 6'-0" ABOVE THE FLOOR (CBC T210, CRC R307.2)
- CEMENT, FIBER CEMENT, FIBER MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER REINFORCE GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS (CRC R702.4.2)
- SHOWERS AND TUB SHOWER COMBINATIONS SHALL HAVE VALVES THAT ARE PRESSURE BALANCING AND THERMOSTATIC (CPC 408.3)
- MAXIMUM FLOW RATES FOR ALL PLUMBING FIXTURES PER CGBCS 4.303:
5.1 WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH
5.2 SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS PER MINUTE AT 80PSI
5.3 LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI
5.4 KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI

UTILITY NOTES:

- MANHOLE COVERS WILL BE 30" PAMREX OR EQUIVALENT AND LABELED "CITY OF LANCASTER," "SEWER," OR "STORM DRAIN" FOR NEW INSTALLED MANHOLES.
- JUNCTION STRUCTURES WILL NEED MANHOLES, 28" PAMREX OR EQUIVALENT.

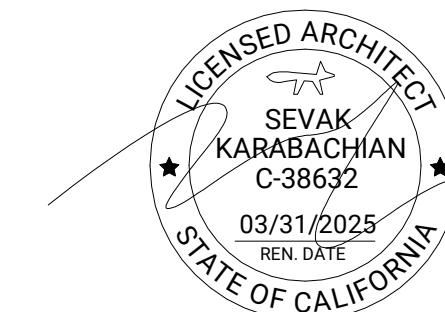


2 PROPOSED RETAIL ROOF PLAN
1/4" = 1'-0"



1 PROPOSED RETAIL FIRST FLOOR PLAN
1/4" = 1'-0"

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**PLANS -MECH.
ROOM**

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

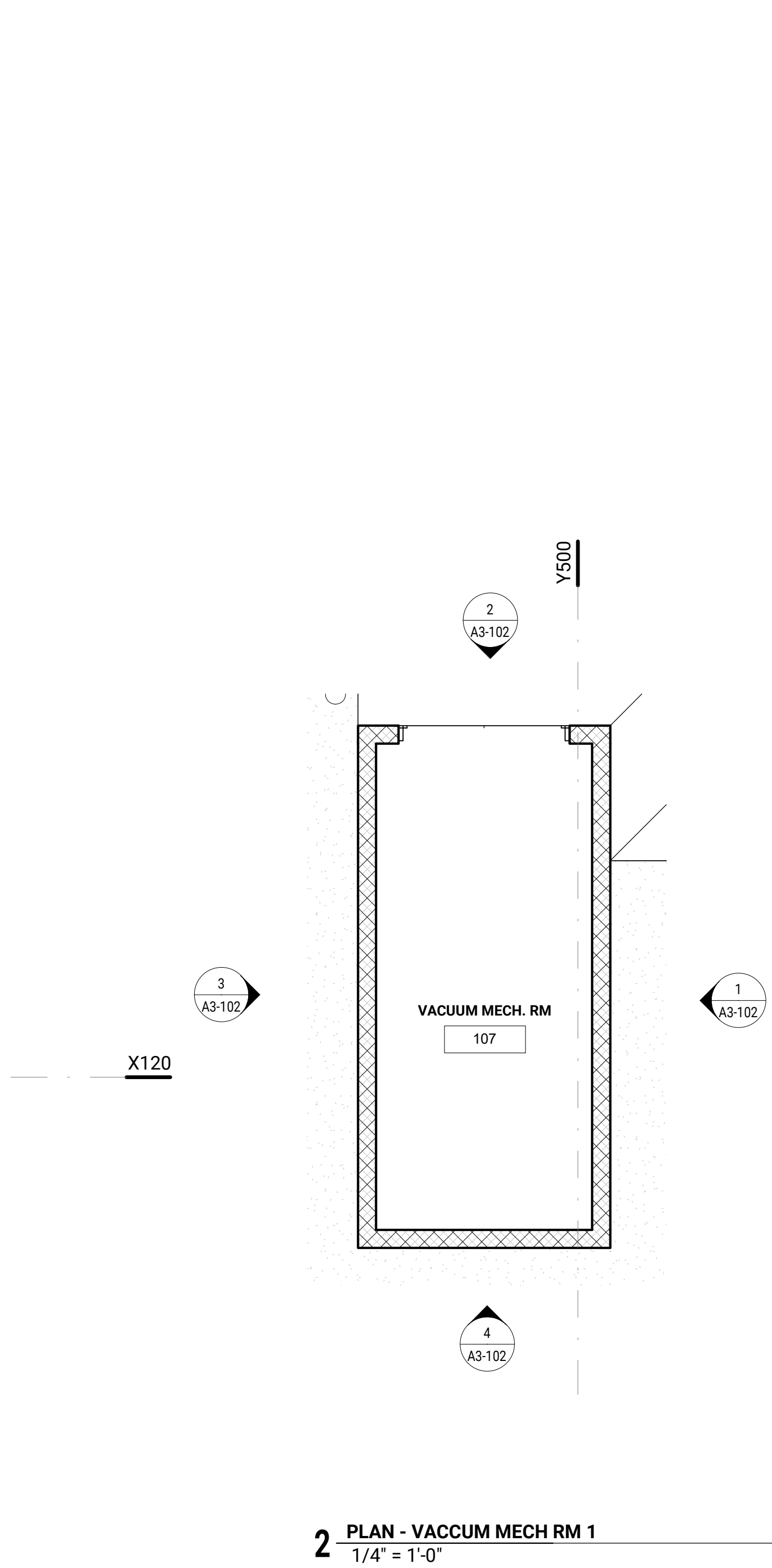
ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007
SCALE:
1/4" = 1'-0"
DRAWN BY:

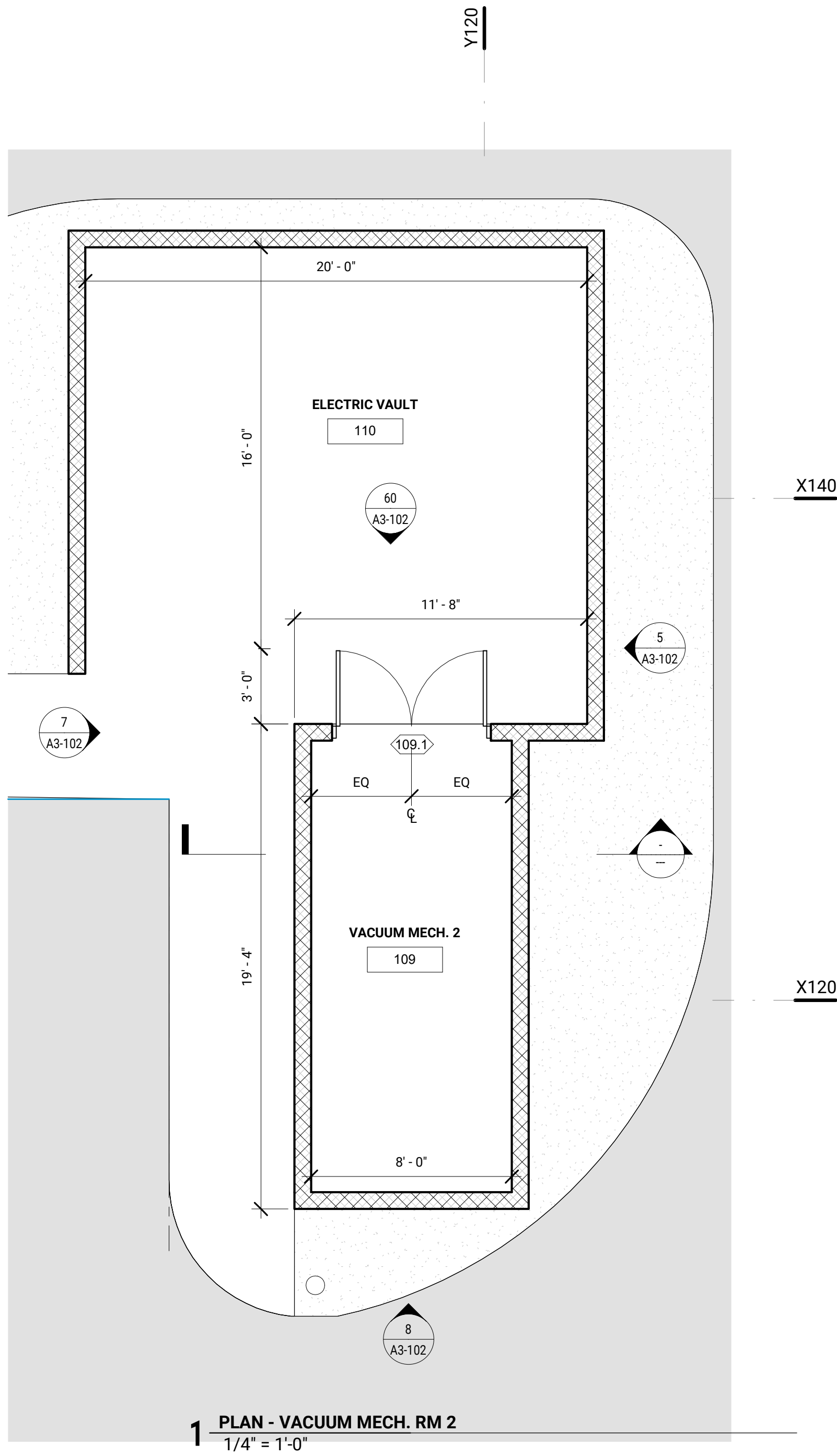
DATE:
11/15/2024

SHEET NUMBER

A2-104



2 PLAN - VACUUM MECH. RM 1
1/4" = 1'-0"



1 PLAN - VACUUM MECH. RM 2
1/4" = 1'-0"

4' x 5.5' BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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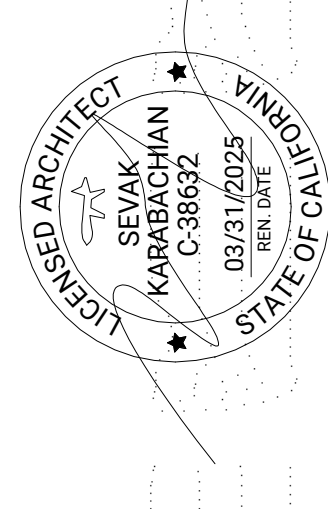
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SURVEY

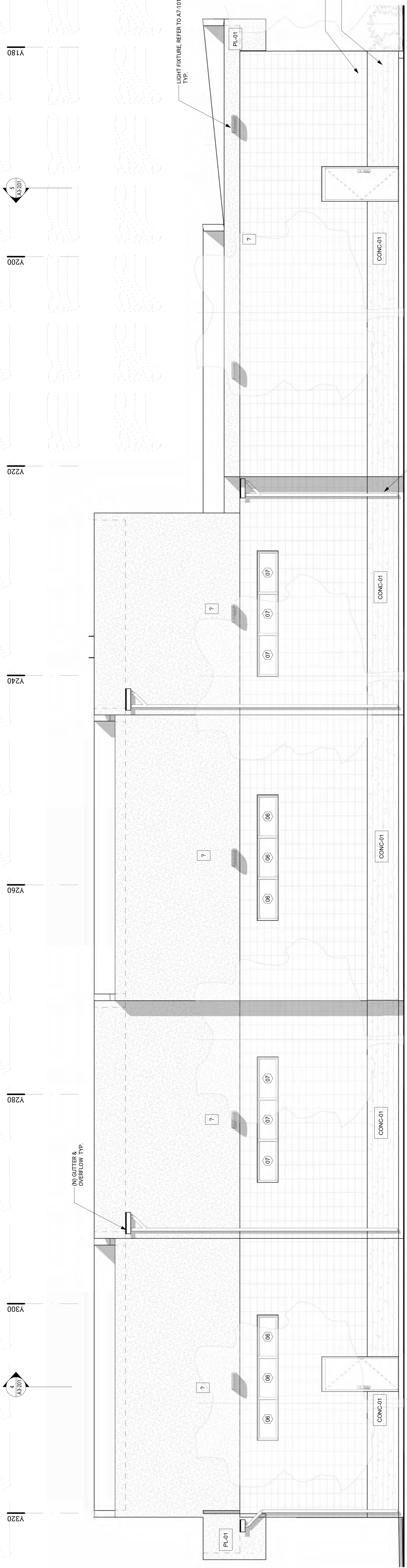
M&B ENGINEERING
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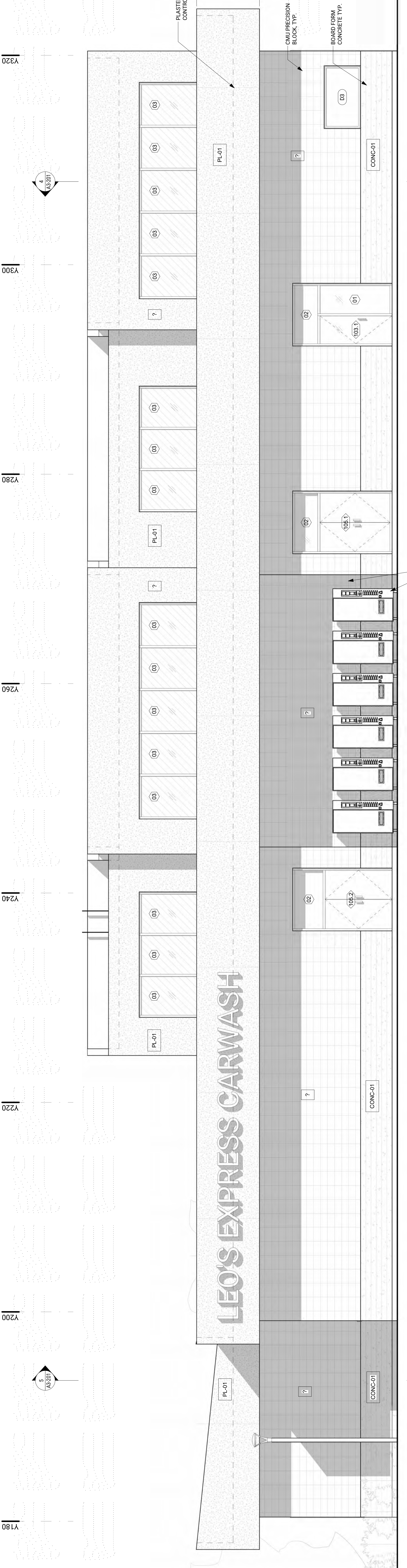
PROJECT ADDRESS
3125-005-042 LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE
ELEVATIONS -
CARWASH



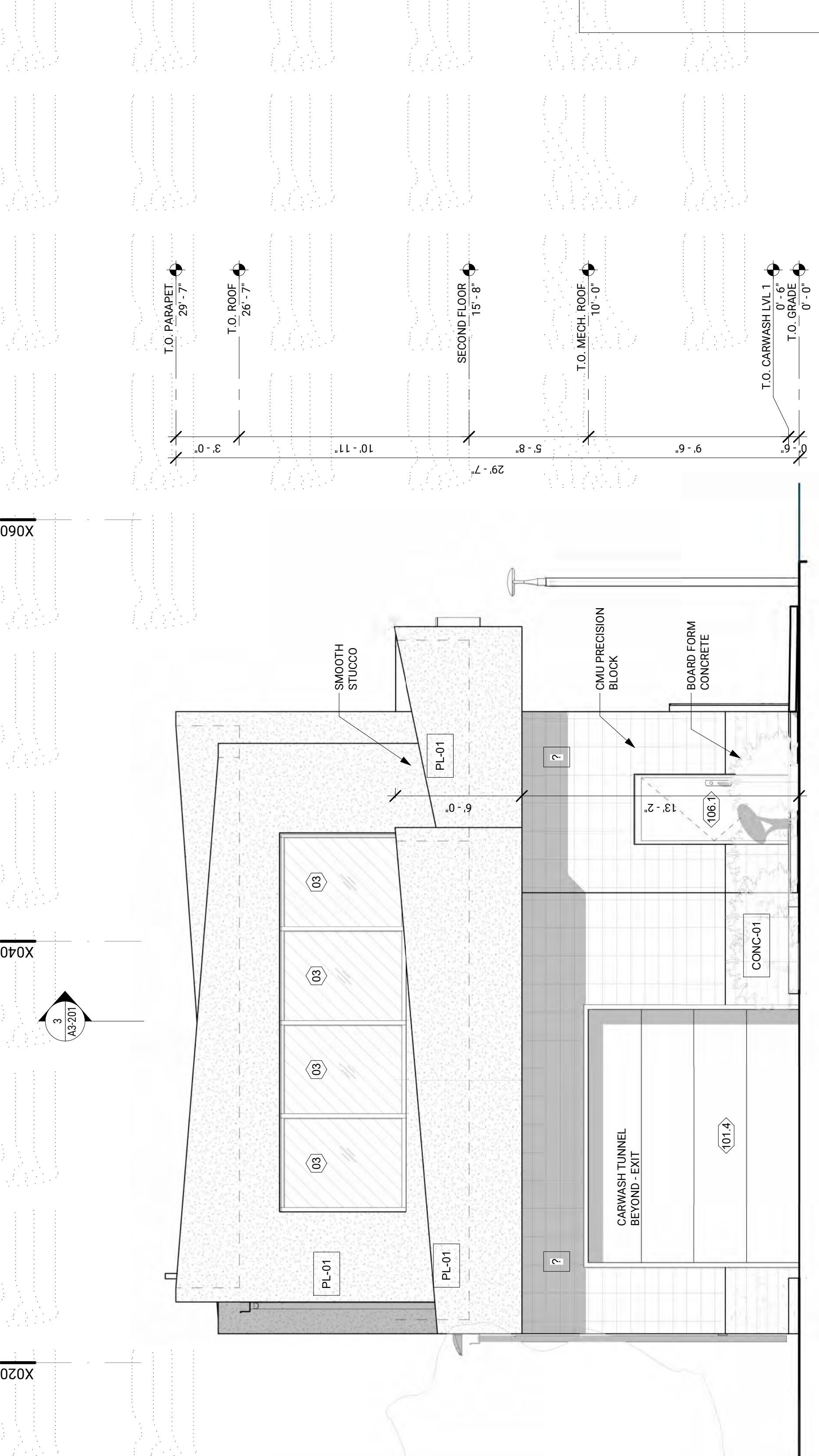
4 CAR WASH SOUTH ELEVATION
1/4" = 1'-0"



3 CAR WASH NORTH ELEVATION
1/4" = 1'-0"



2 CAR WASH EAST ELEVATION
1/4" = 1'-0"



1 CAR WASH WEST ELEVATION
1/4" = 1'-0"

PERMIT #: XXXXXXXX

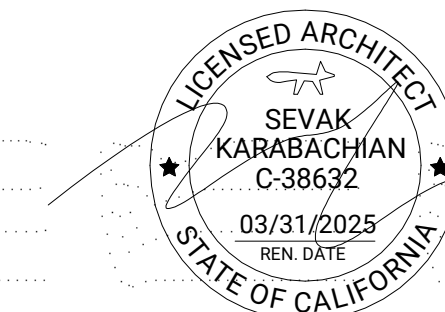
PLANNING #: XXXXXXXX

PROJ. SET: 2024-007
SCALE: 1/4" = 1'-0"
DRAWN BY: [Signature]
DATE: 11/15/2024

4 - 1/4" BOUNDARY RESERVED FOR A.U. APPROVAL STAMP

SHEET NUMBER
A3-101

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**ELEVATION -
RETAIL & MECH.**

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

1/4" = 1'-0"

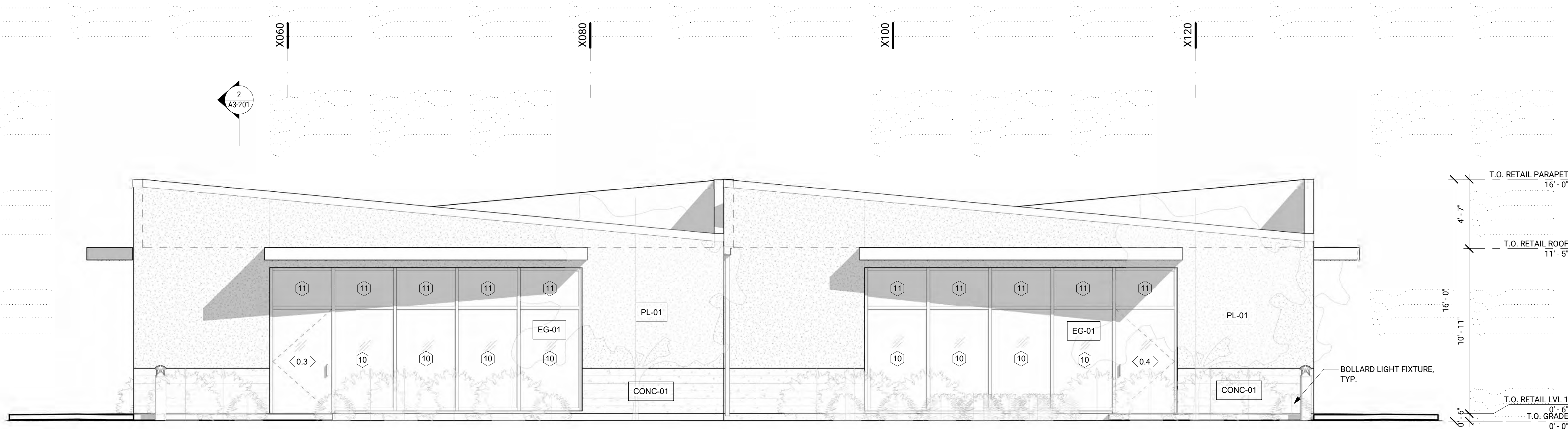
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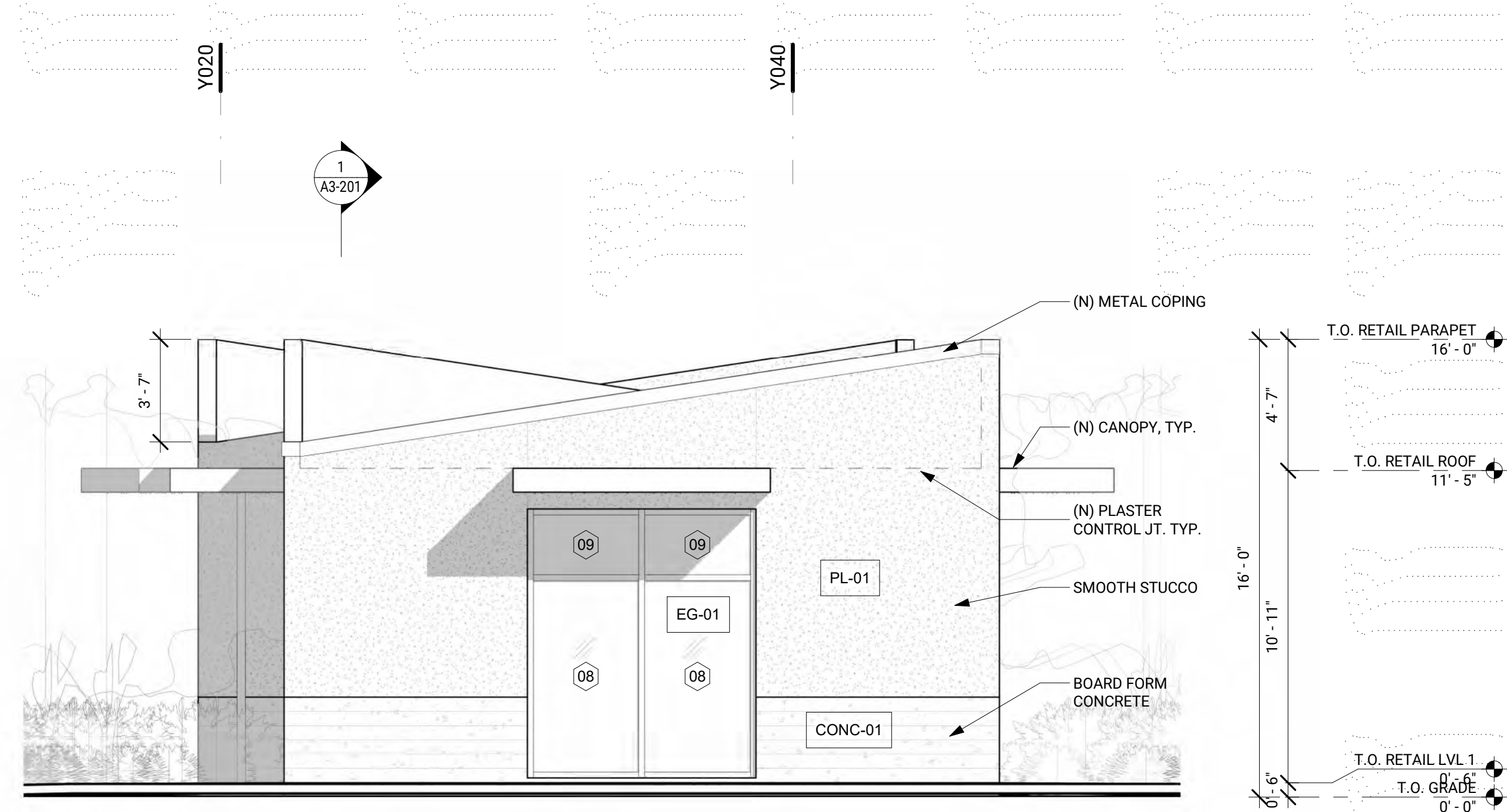
11/15/2024

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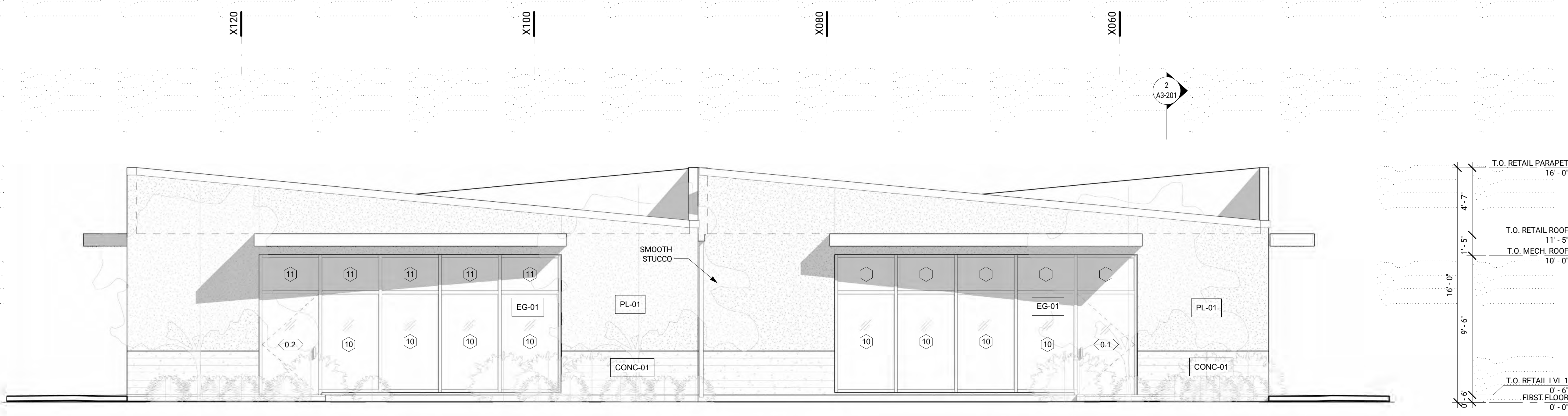
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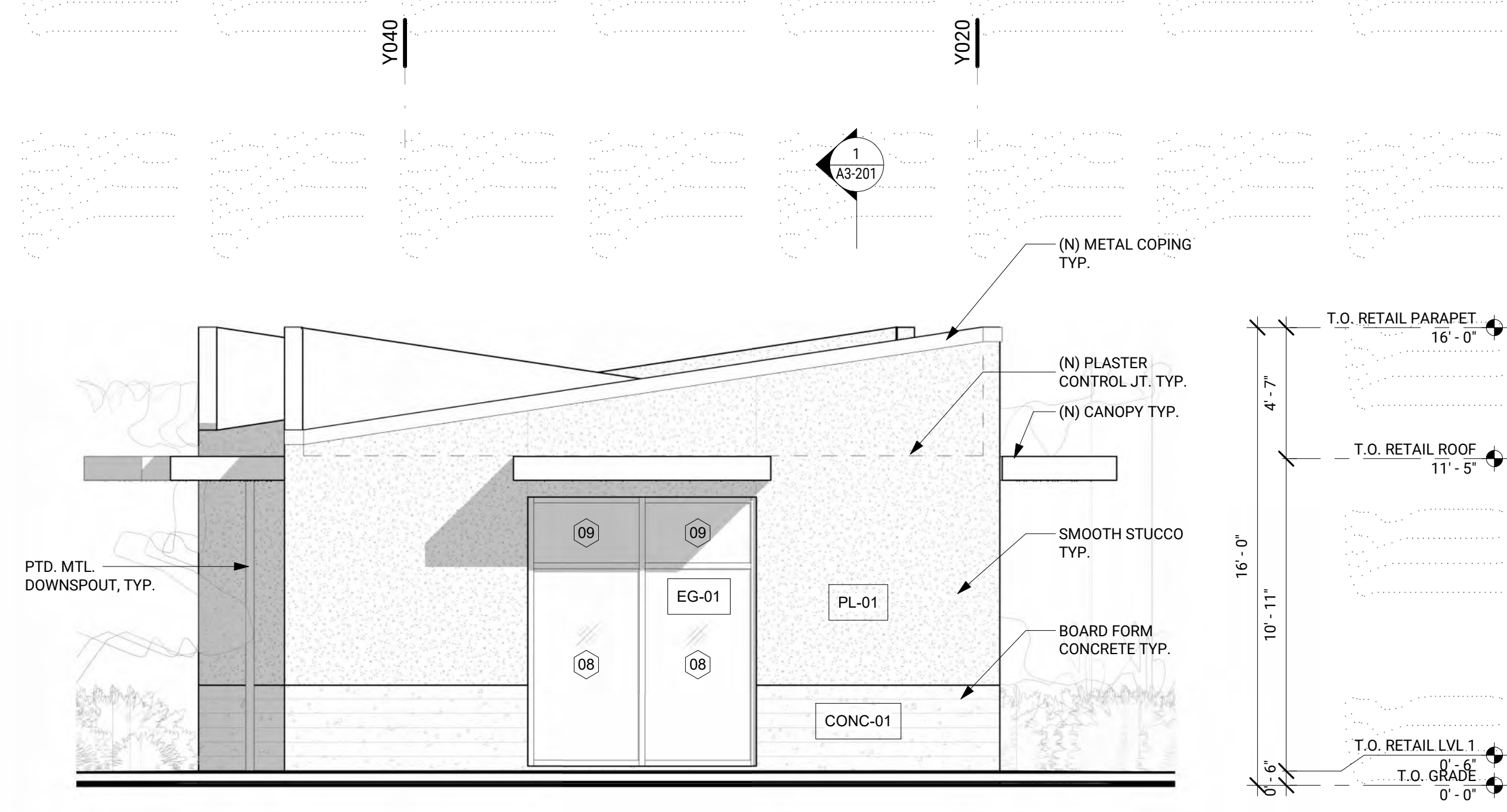
12 RETAIL BUILDING ELEVATION - EAST
1/4" = 1'-0"



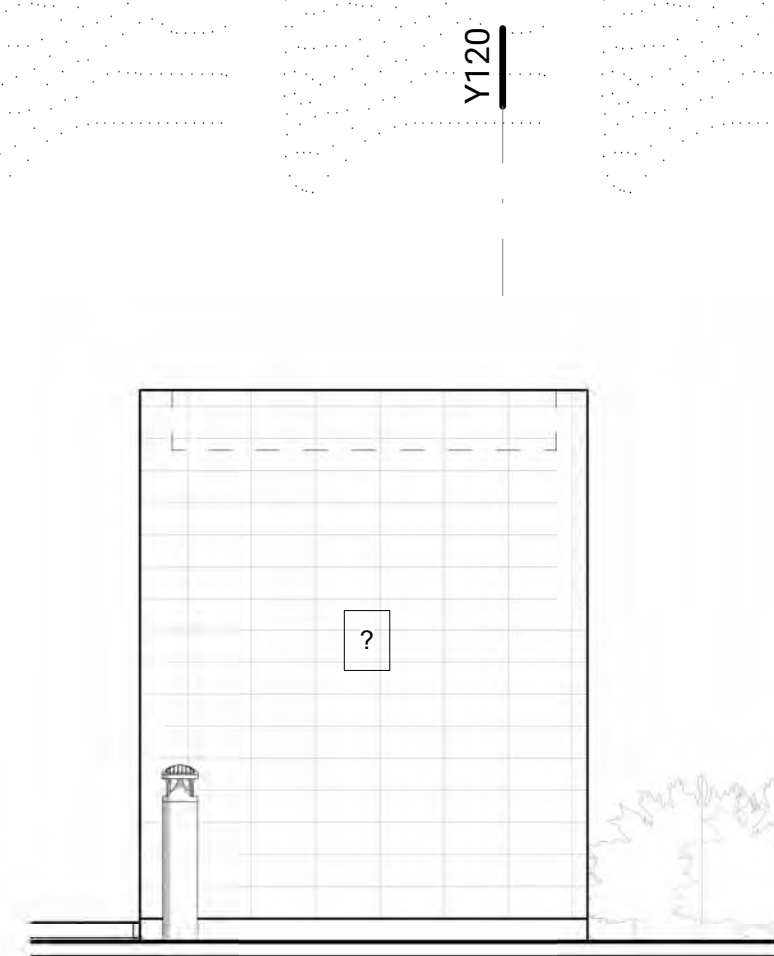
11 RETAIL BUILDING ELEVATION - NORTH
1/4" = 1'-0"



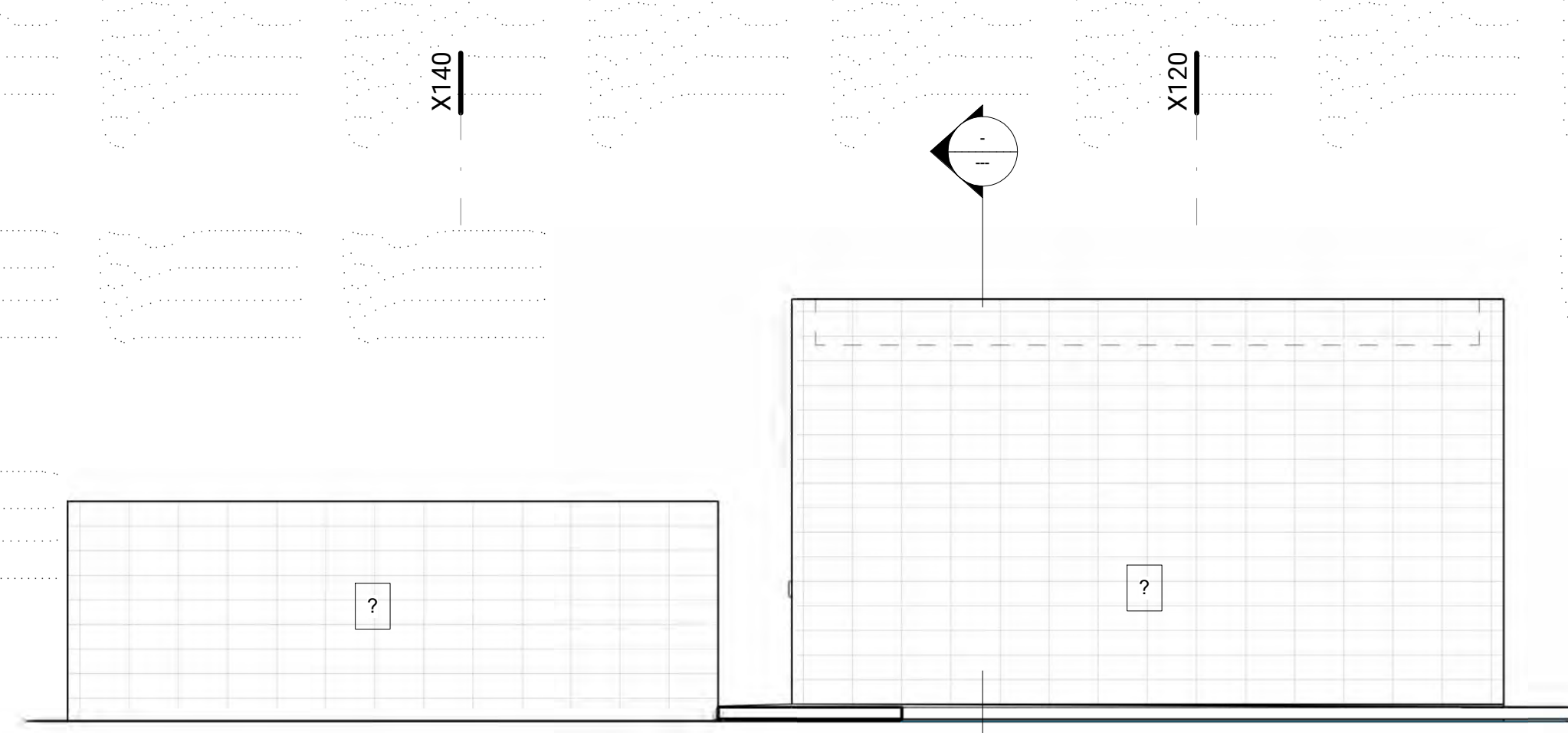
10 RETAIL BUILDING ELEVATION - WEST
1/4" = 1'-0"



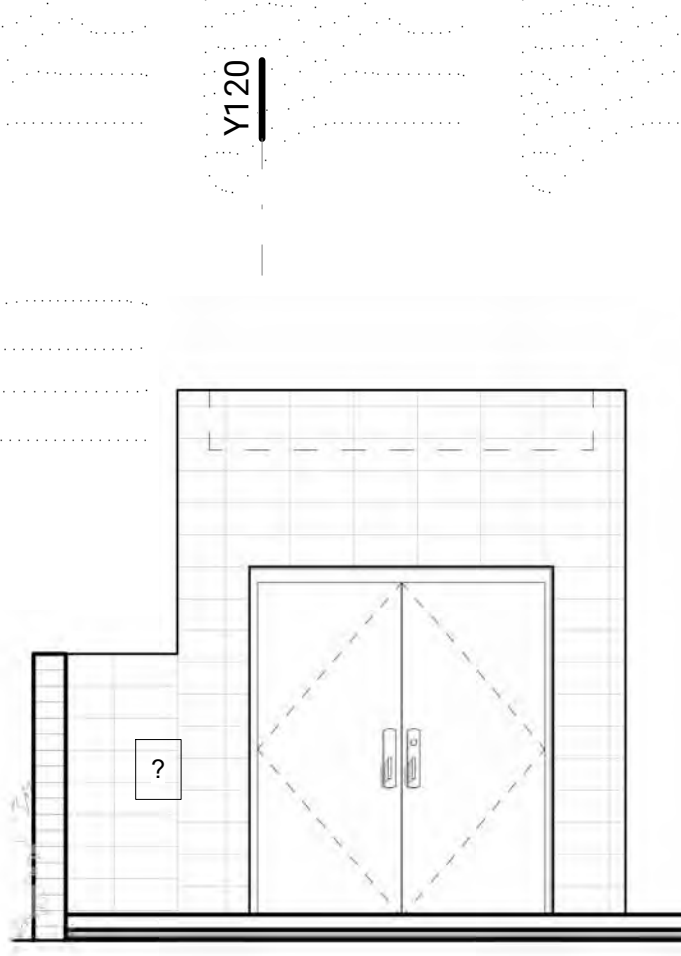
9 RETAIL BUILDING ELEVATION - SOUTH
1/4" = 1'-0"



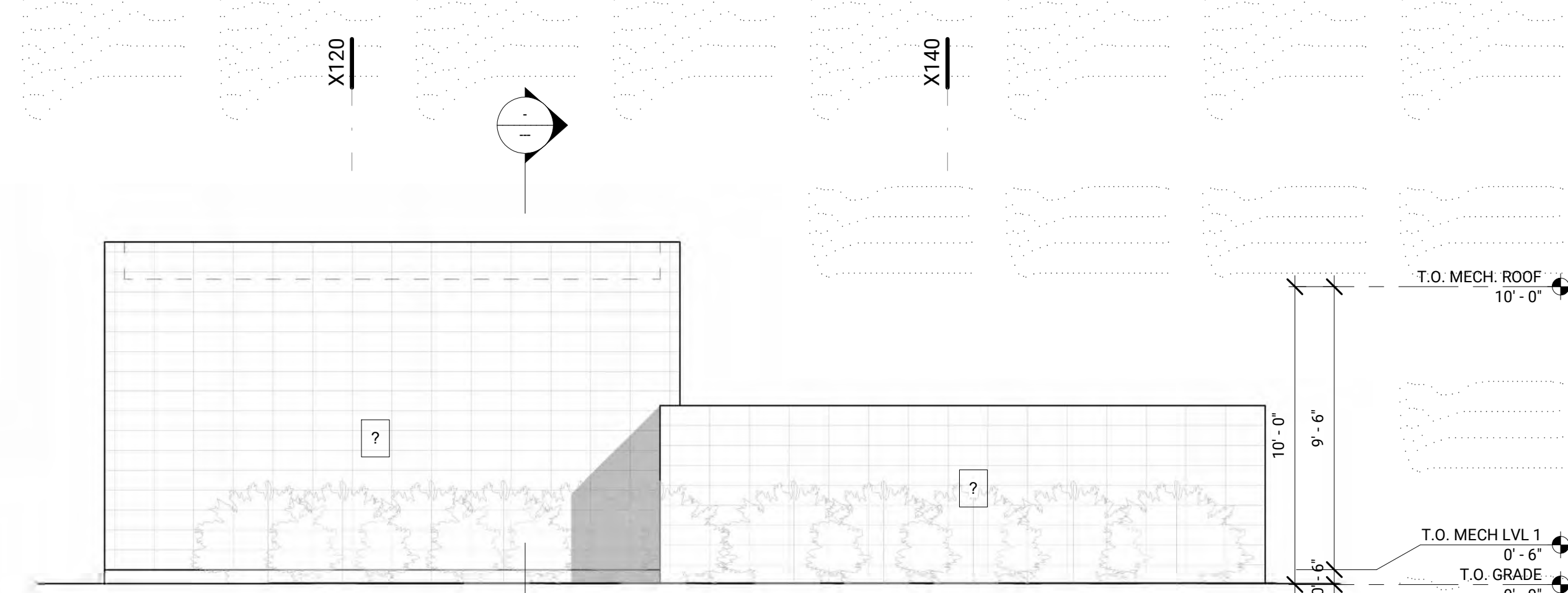
8 VAC. MECH. RM 2 ELEVATION - SOUTH
1/4" = 1'-0"



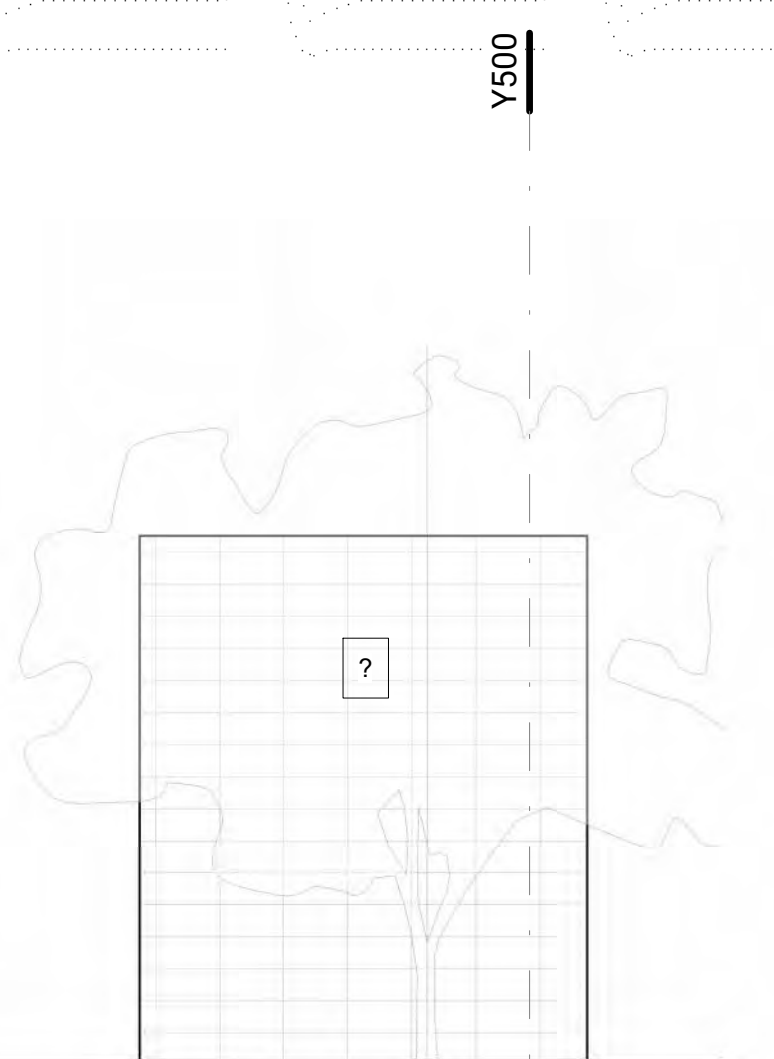
7 VAC. MECH. RM 2 ELEVATION - WEST
1/4" = 1'-0"



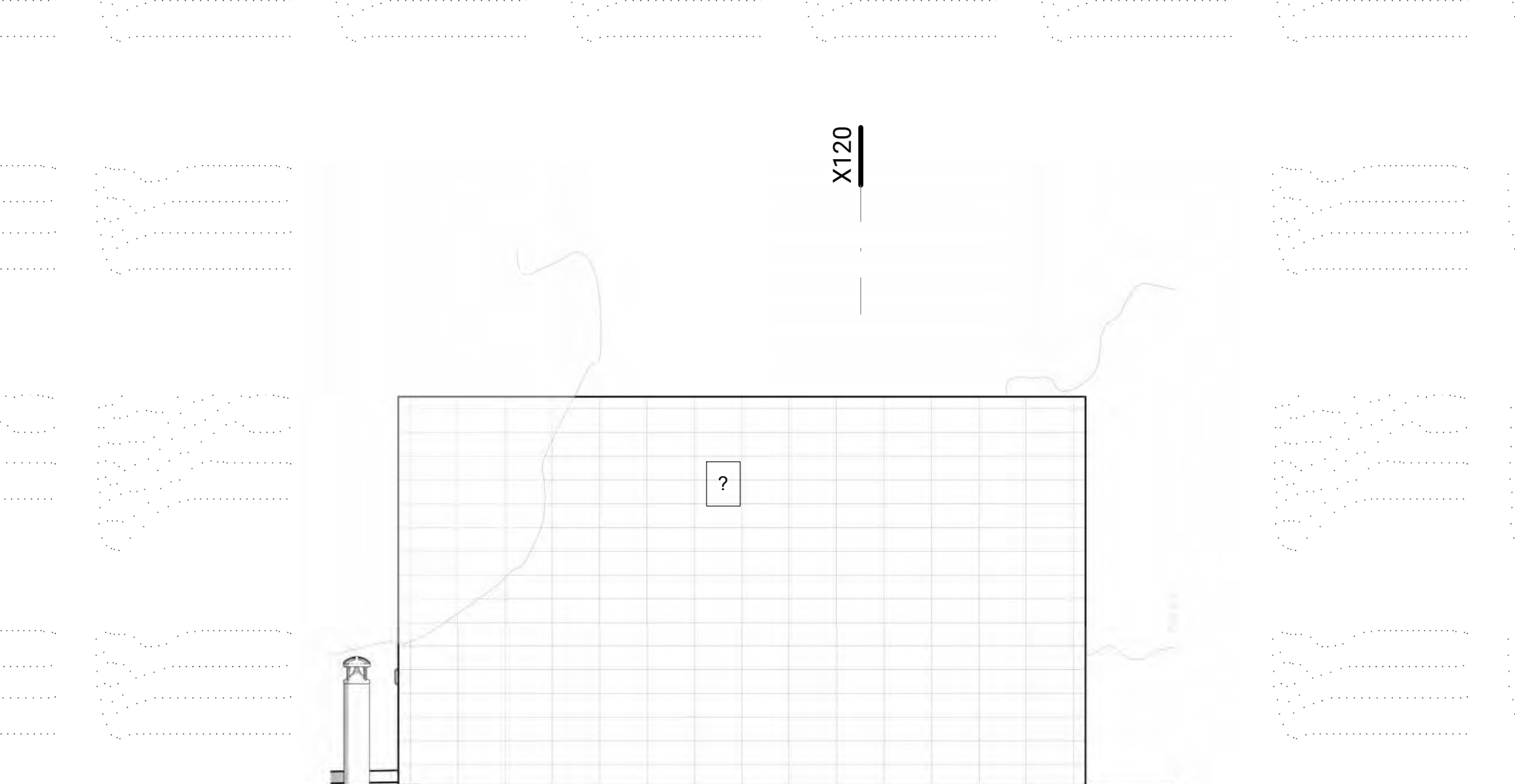
60 VAC. MECH RM 2 ELEVATION - NORTH
1/4" = 1'-0"



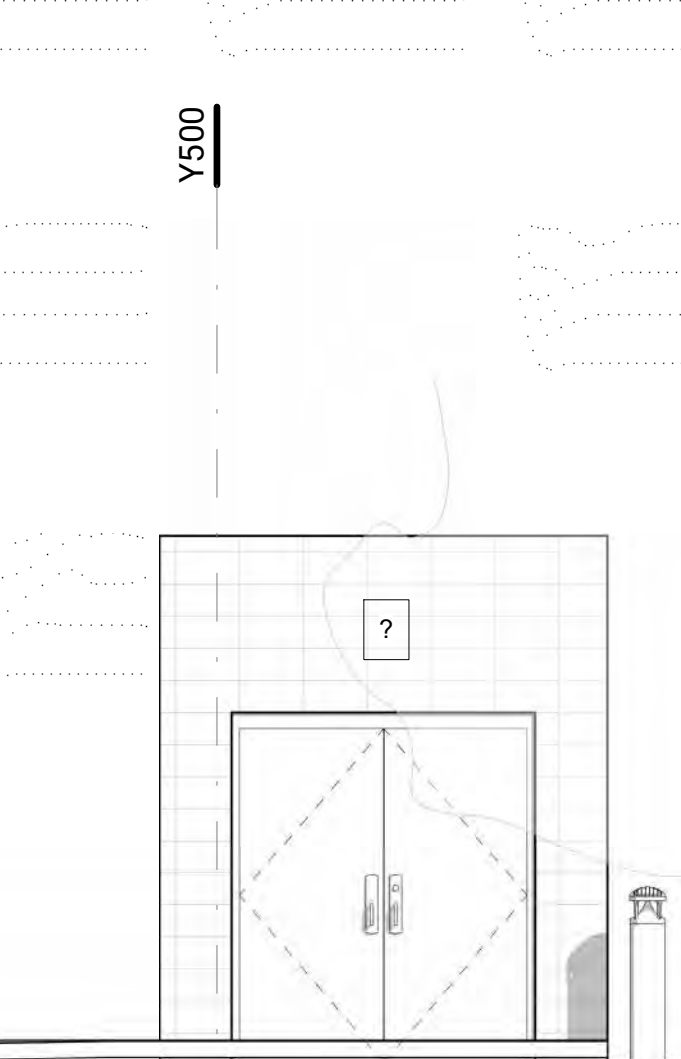
5 VAC. MECH RM 2 ELEVATION - EAST
1/4" = 1'-0"



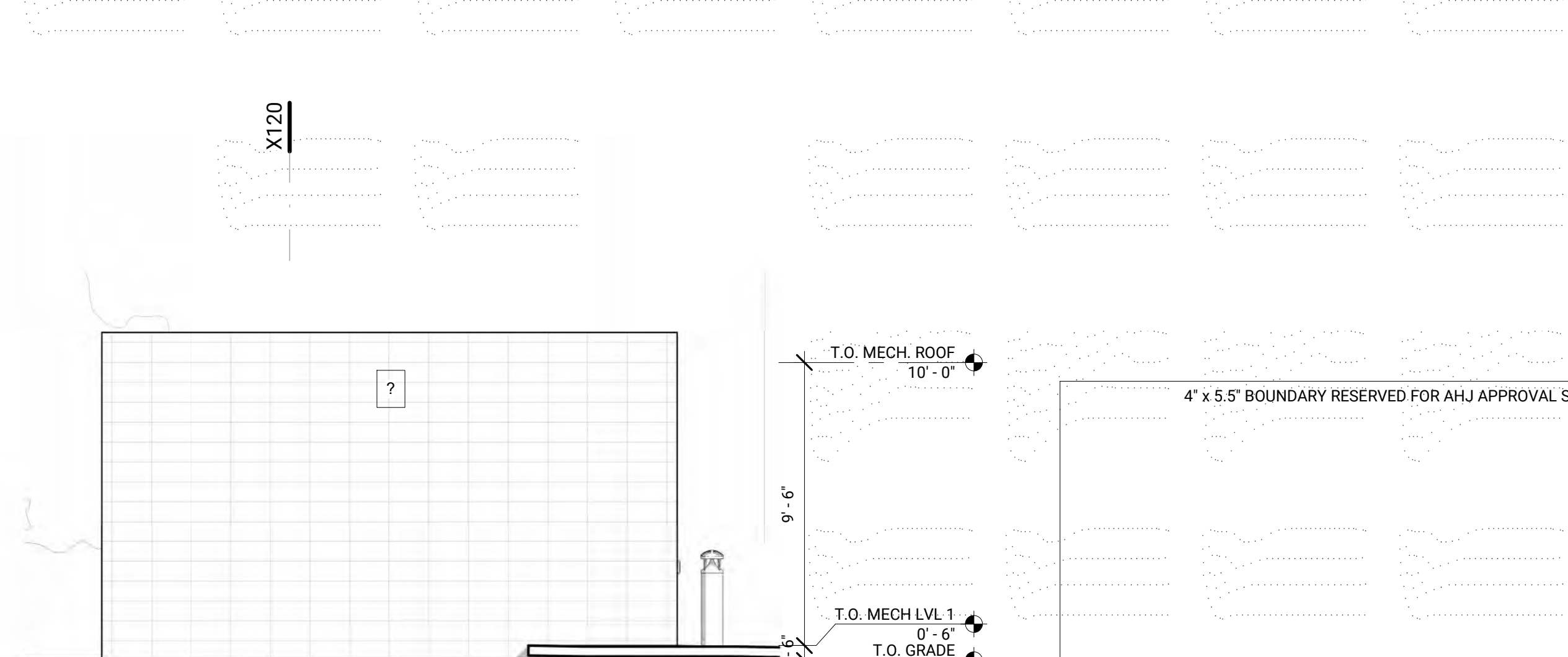
4 VAC. MECH. RM - SOUTH
1/4" = 1'-0"



3 VAC. MECH. RM - WEST
1/4" = 1'-0"



2 VAC. MECH. RM 1 - NORTH
1/4" = 1'-0"



1 VAC. MECH. RM 1 - EAST
1/4" = 1'-0"

4' x 5.5' BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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MECH, ELEC, PLUMBING

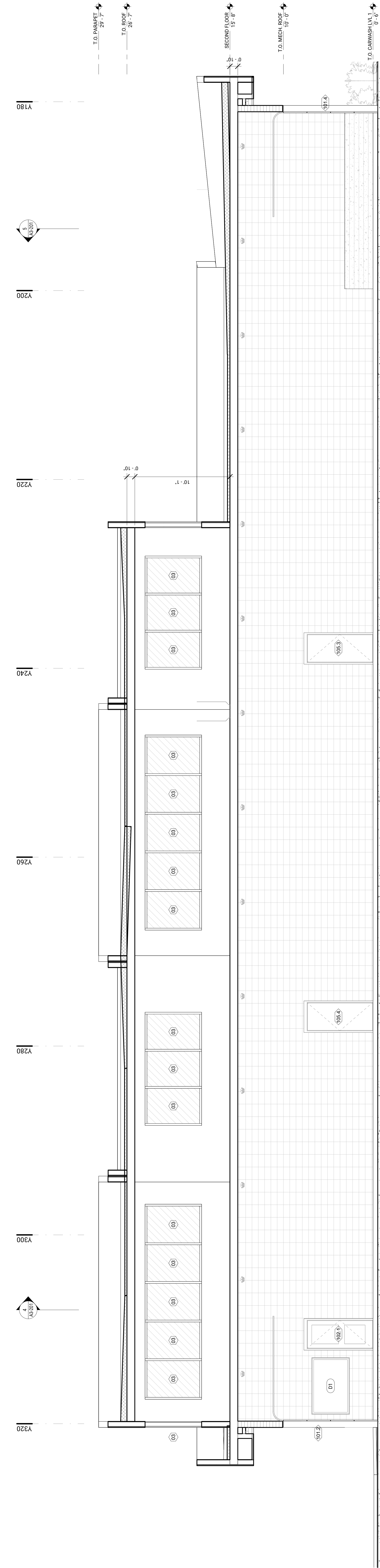
MELB ENGINEERING
17000 WILSON AVENUE, SUITE 200
GLENDALE, CALIFORNIA 91214
7918 COTTELL BLVD.
SUNLAND, CALIFORNIA 91060
M: 818-571-6342
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MECH, ELEC, PLUMBING

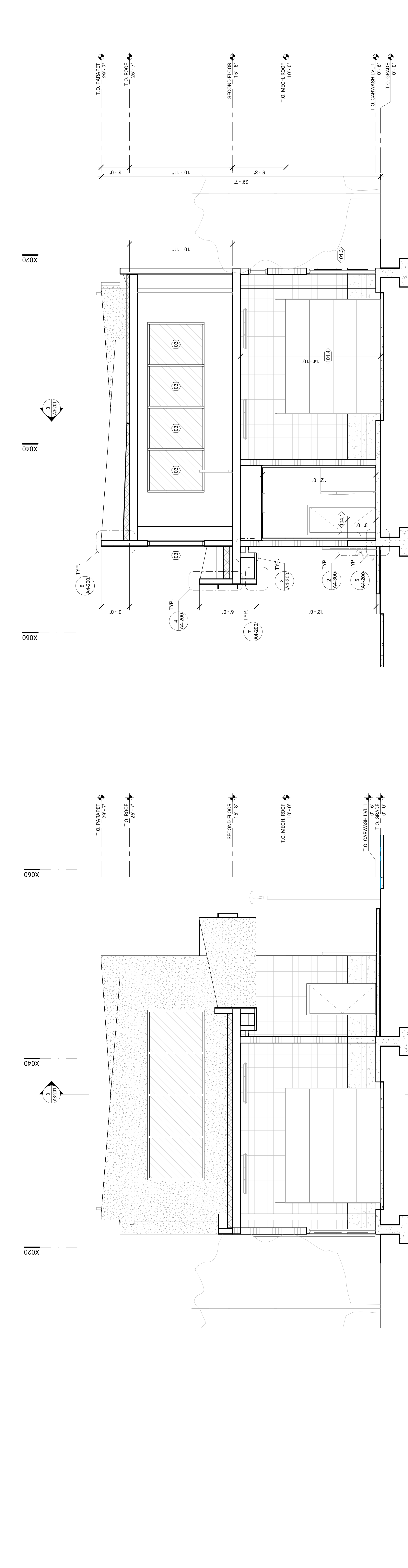
MELB ENGINEERING
17000 WILSON AVENUE, SUITE 200
GLENDALE, CALIFORNIA 91214
7918 COTTELL BLVD.
SUNLAND, CALIFORNIA 91060
M: 818-571-6342
GEGAM@MEENGINEERING.ORG

MECH, ELEC, PLUMBING

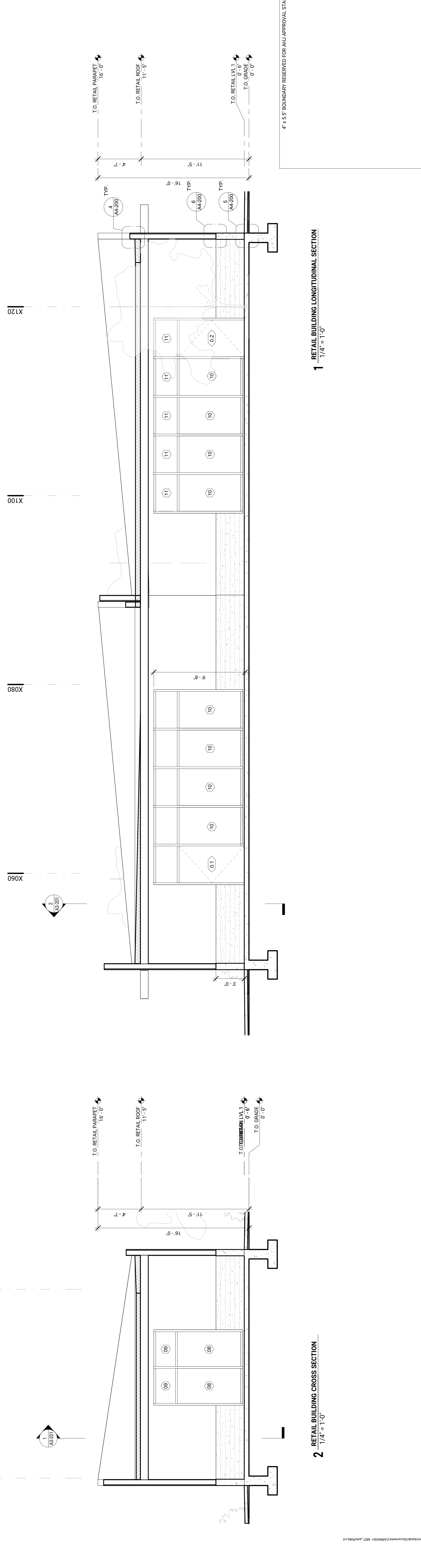
MELB ENGINEERING
17000 WILSON AVENUE, SUITE 200
GLENDALE, CALIFORNIA 91214
7918 COTTELL BLVD.
SUNLAND, CALIFORNIA 91060
M: 818-571-6342
GEGAM@MEENGINEERING.ORG



3 CARWASH LONGITUDINAL SECTION
1/4" = 1'-0"



4 CARWASH CROSS SECTION
1/4" = 1'-0"

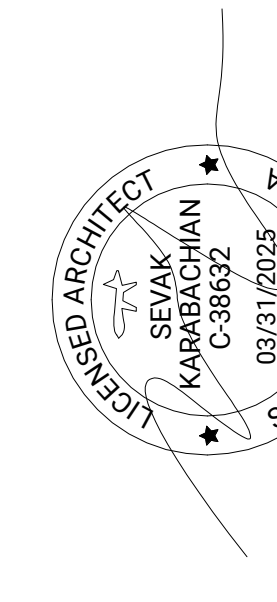


1 RETAIL BUILDING LONGITUDINAL SECTION
1/4" = 1'-0"

5 SECTIONS - CARWASH & RETAIL
1/4" = 1'-0"

2 RETAIL BUILDING CROSS SECTION
1/4" = 1'-0"

NO.	ISSUE	DATE



PROJECT ADDRESS
3123-005-042 LANCASTER
LANCASTER, CALIFORNIA 93534
NEW CARWASH

TITLE
SECTIONS -
CARWASH &
RETAIL SPACE
SECTIONS

PERMIT #: XXXXXXXX
PLANNING #: XXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"
PROJECT: 2024-007
SCALE: 1/4" = 1'-0"
DRAWN BY: [Name]
DATE: 11/15/2024
SHEET NUMBER: A3-201





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WWW.KARABACHIAN.COM
CA LICENSE: C-38632

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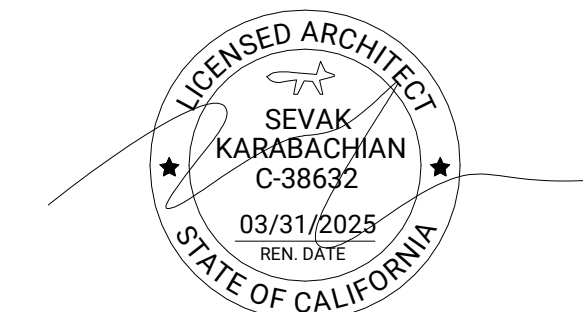
CIVIL
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NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**EXTERIOR GLAZING
DETAILS**

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

3" = 1'-0"

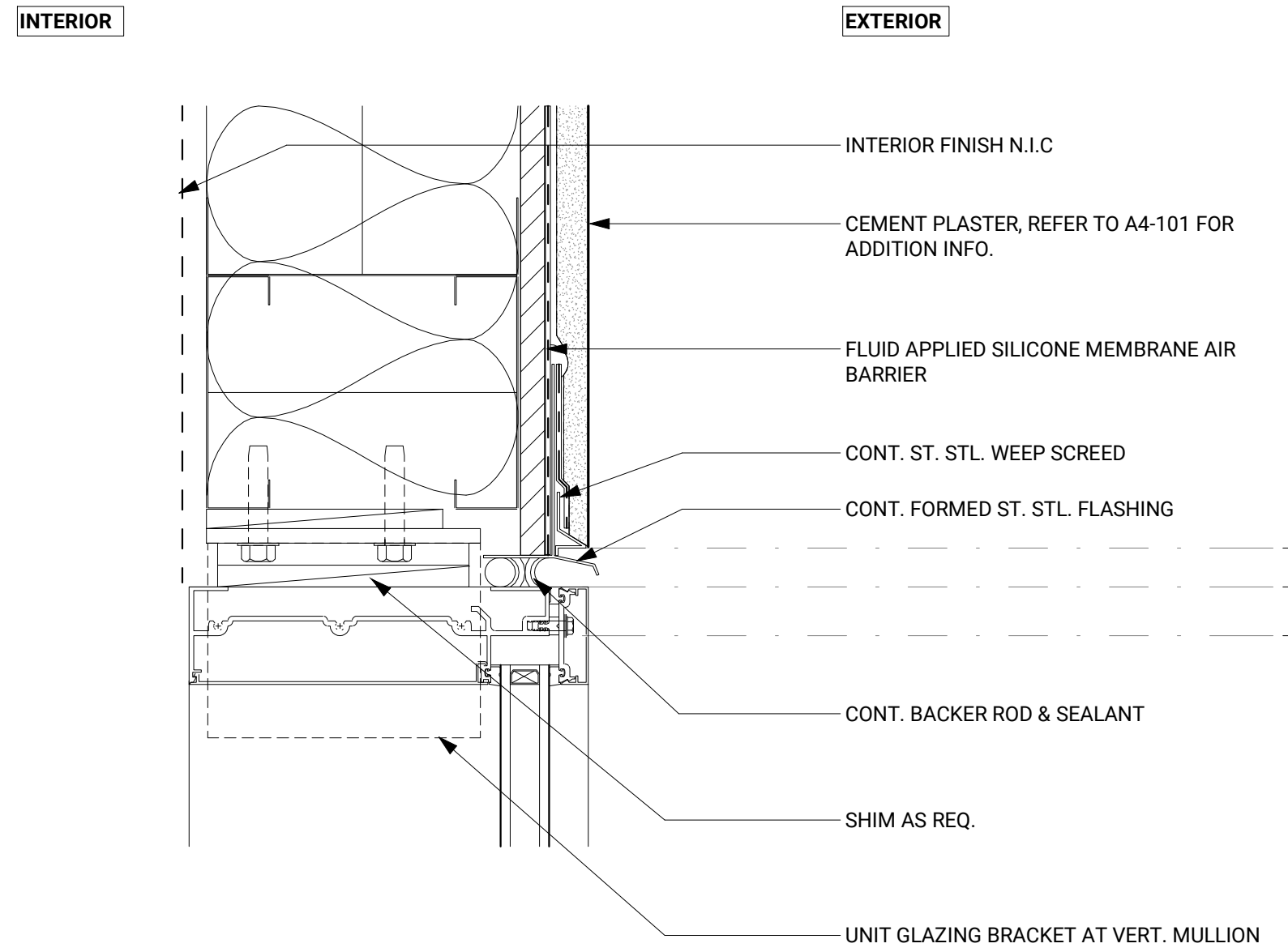
DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER

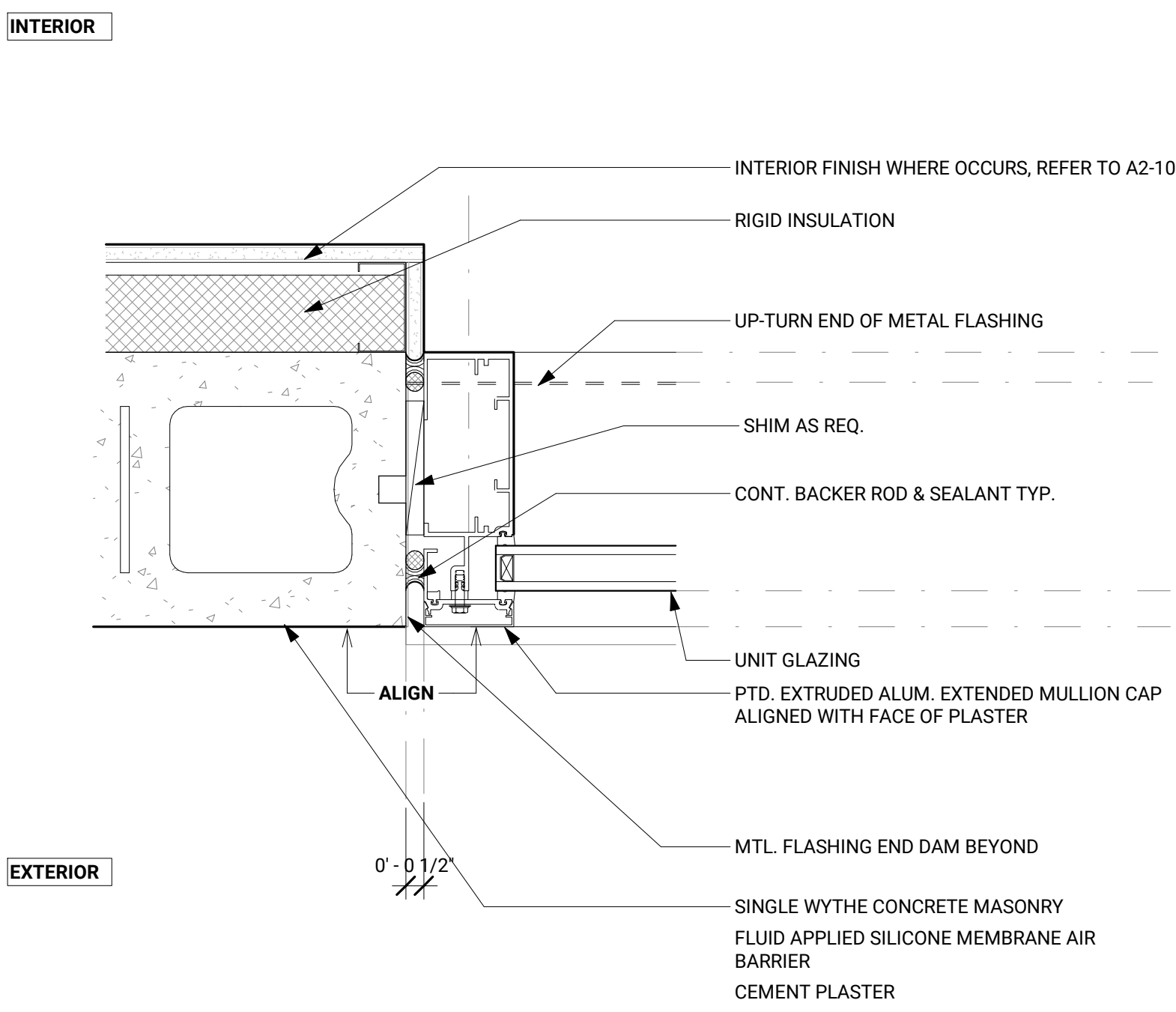
A4-100



HEADER SECTION DETAIL - GLAZING TO PLASTER

SCALE
3" = 1'-0"

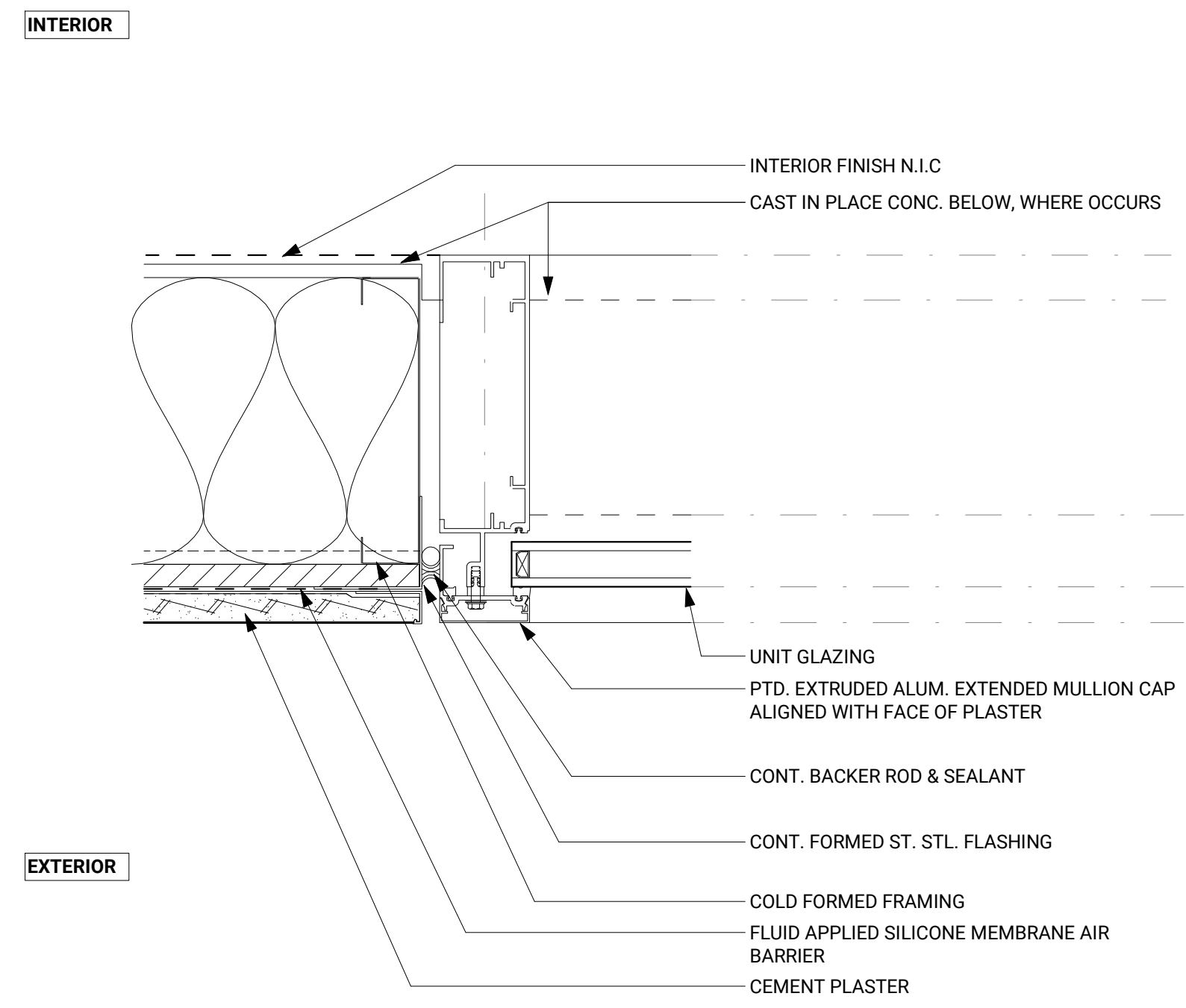
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PLAN JAMB DETAIL - GLAZING TO PLASTER

SCALE
3" = 1'-0"

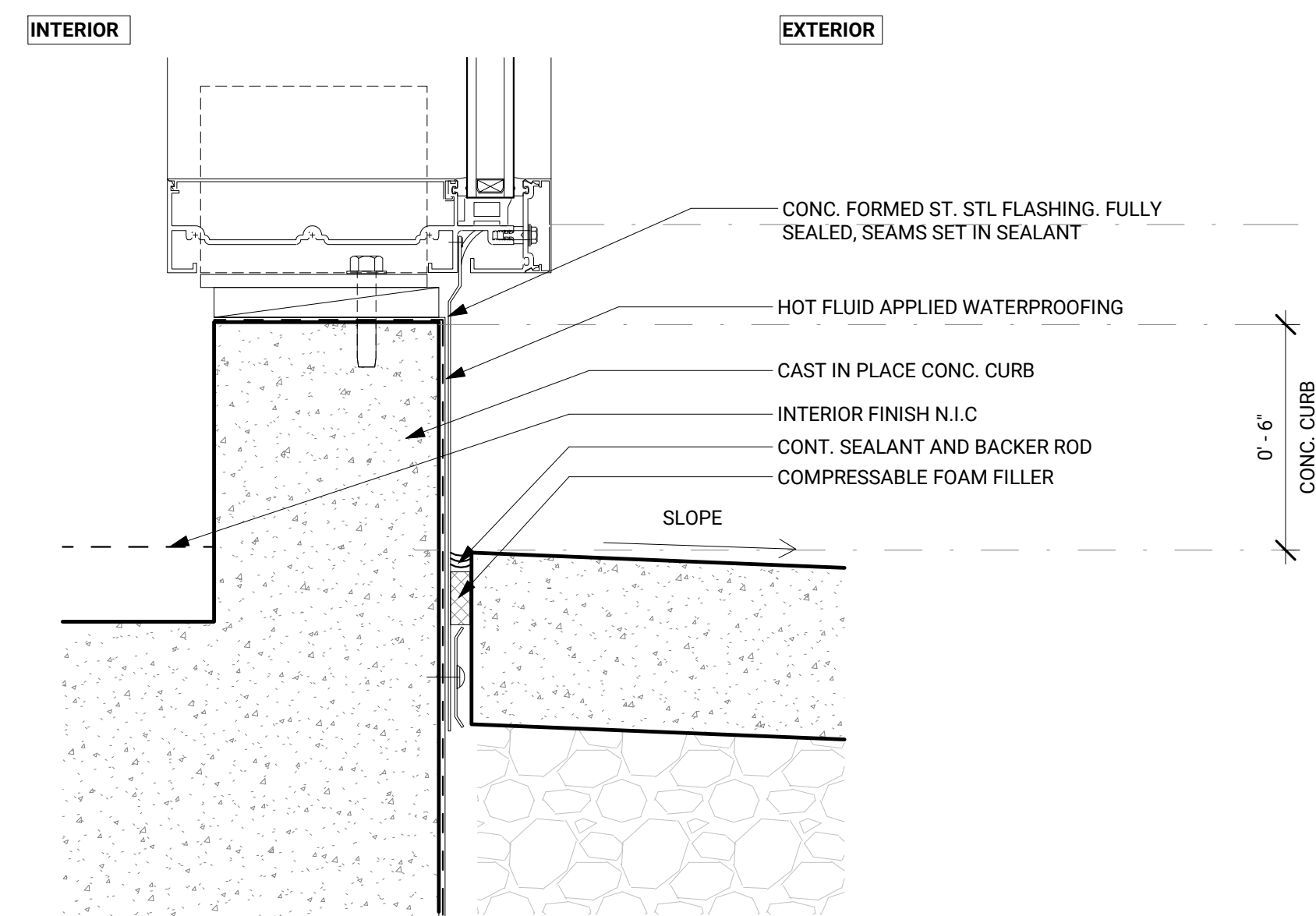
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PLAN JAMB DETAIL - GLAZING TO CMU

SCALE
3" = 1'-0"

2



SILL SECTION DETAIL - GLAZING TO SIDEWALK

SCALE
3" = 1'-0"

1

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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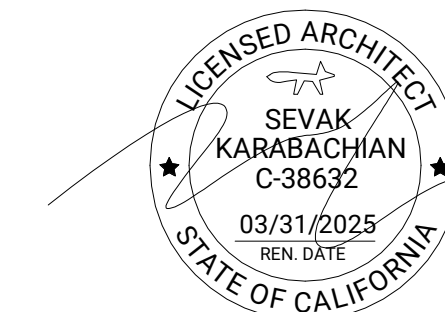
CIVIL
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NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
PLASTER DETAILS

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

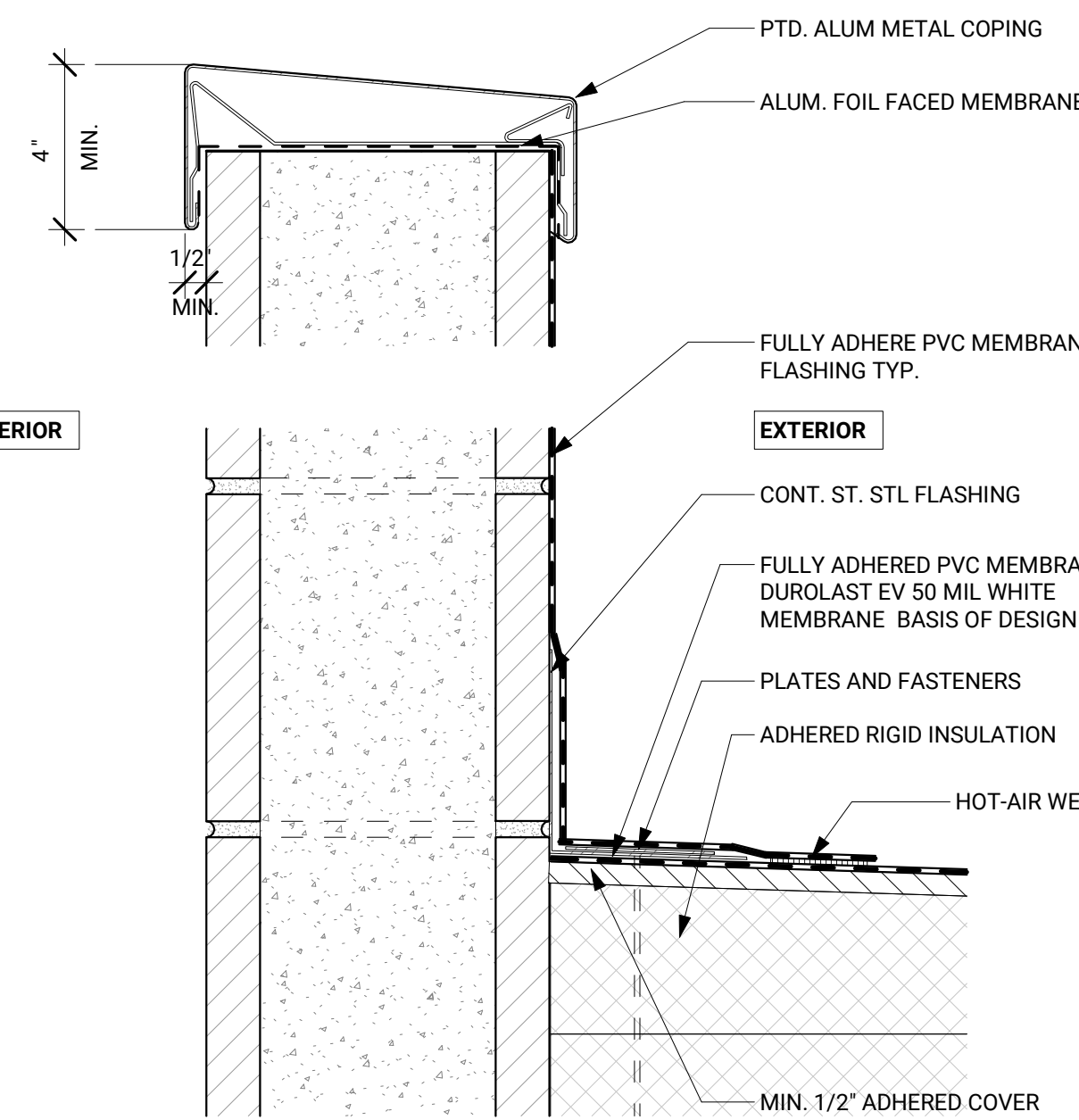
ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007
SCALE:
As indicated
DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER

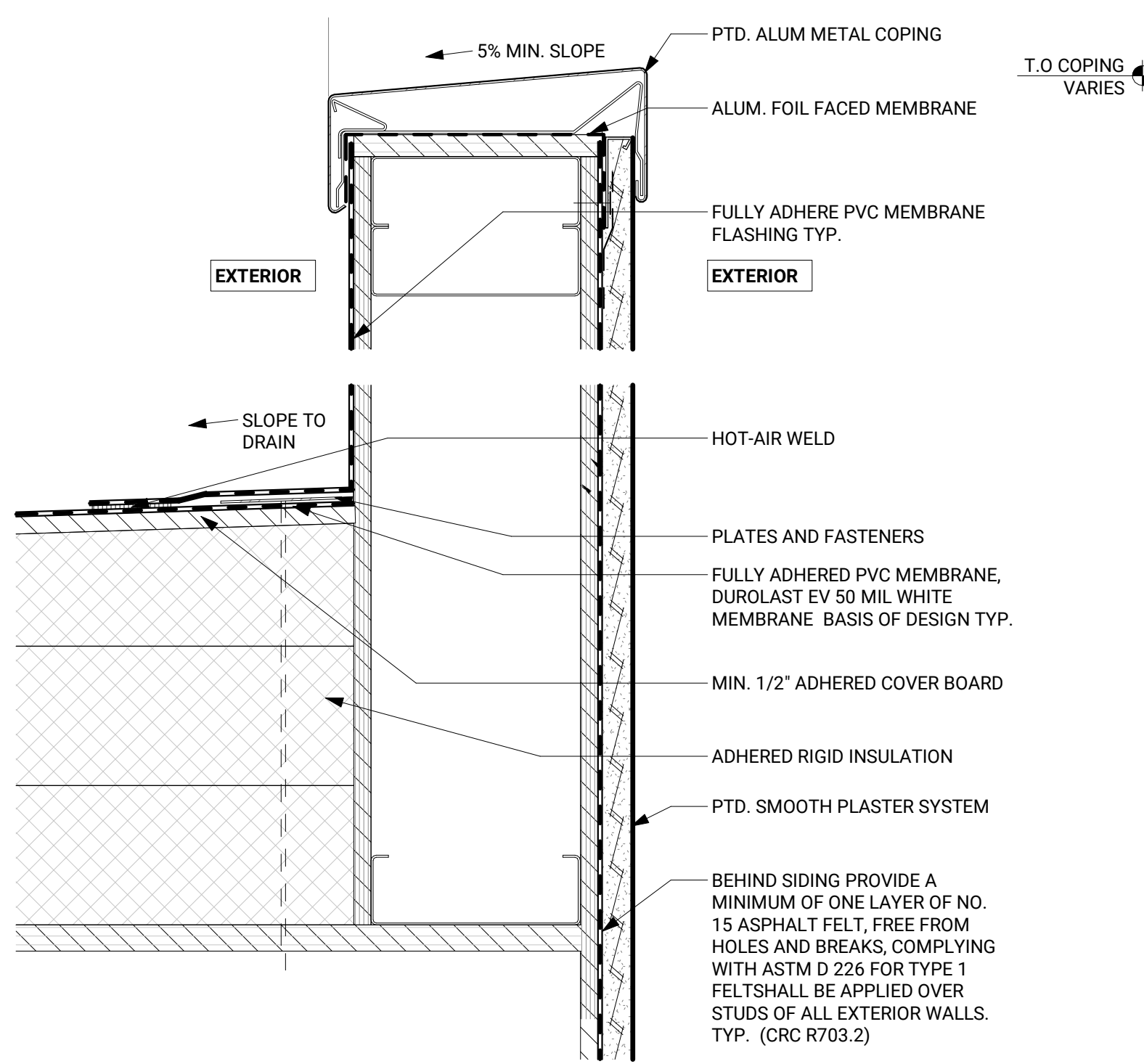
A4-200



SECTION DETAIL - CMU PARAPET

SCALE
3" = 1'-0"

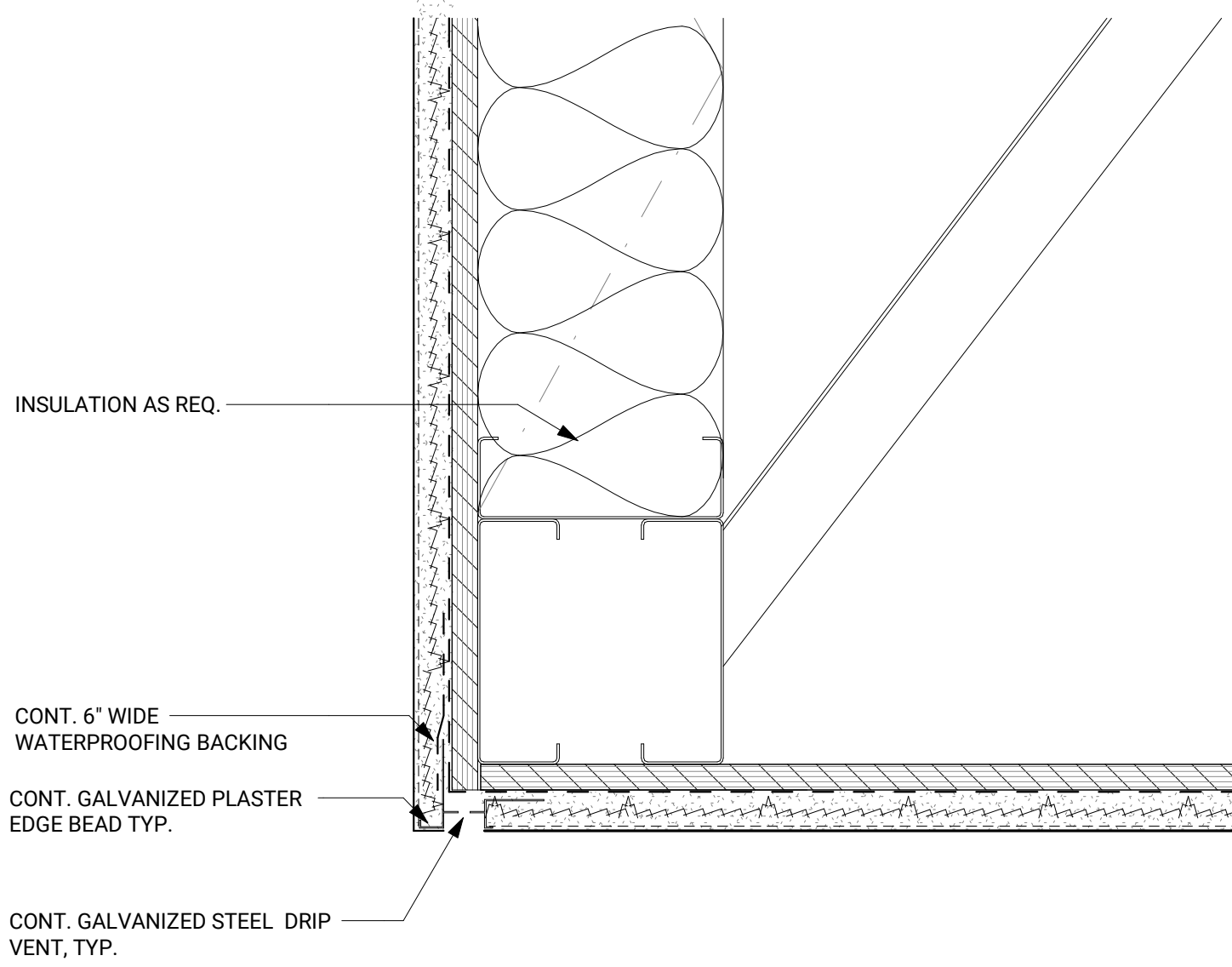
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SECTION DETAIL - PLASTER PARAPET

SCALE
3" = 1'-0"

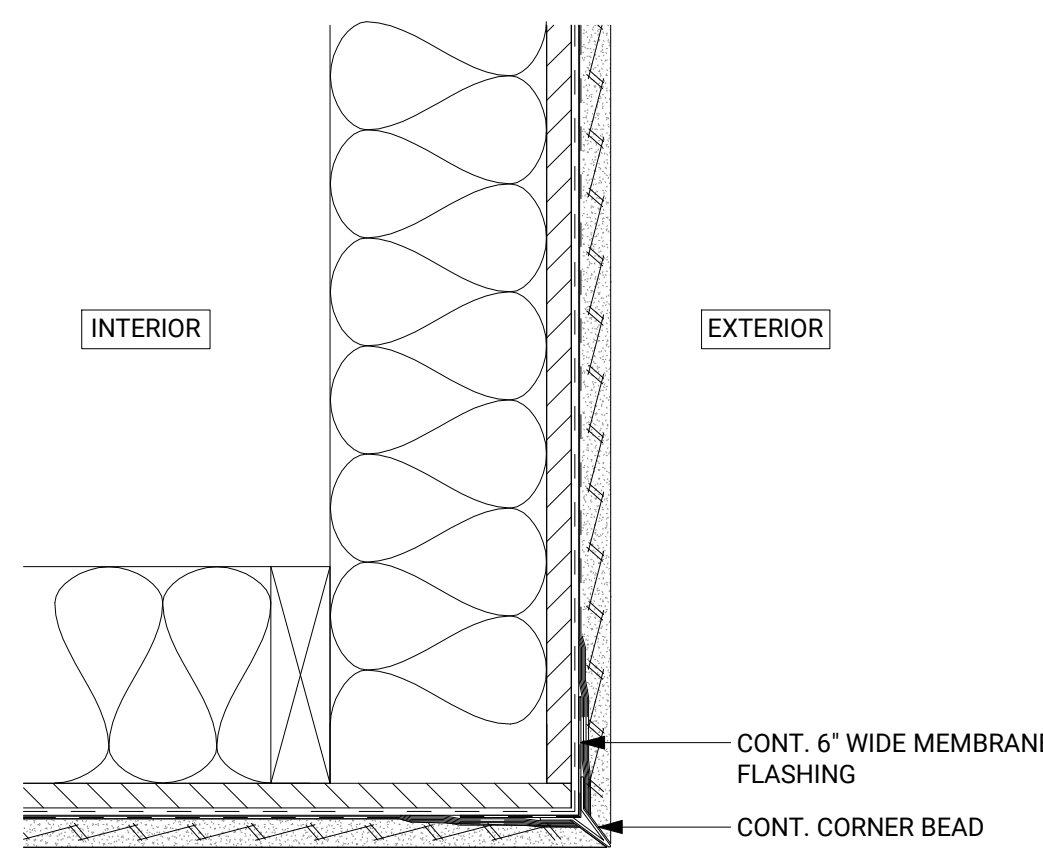
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SECTION DETAIL - PLASTER SOFFIT VENT

SCALE
3" = 1'-0"

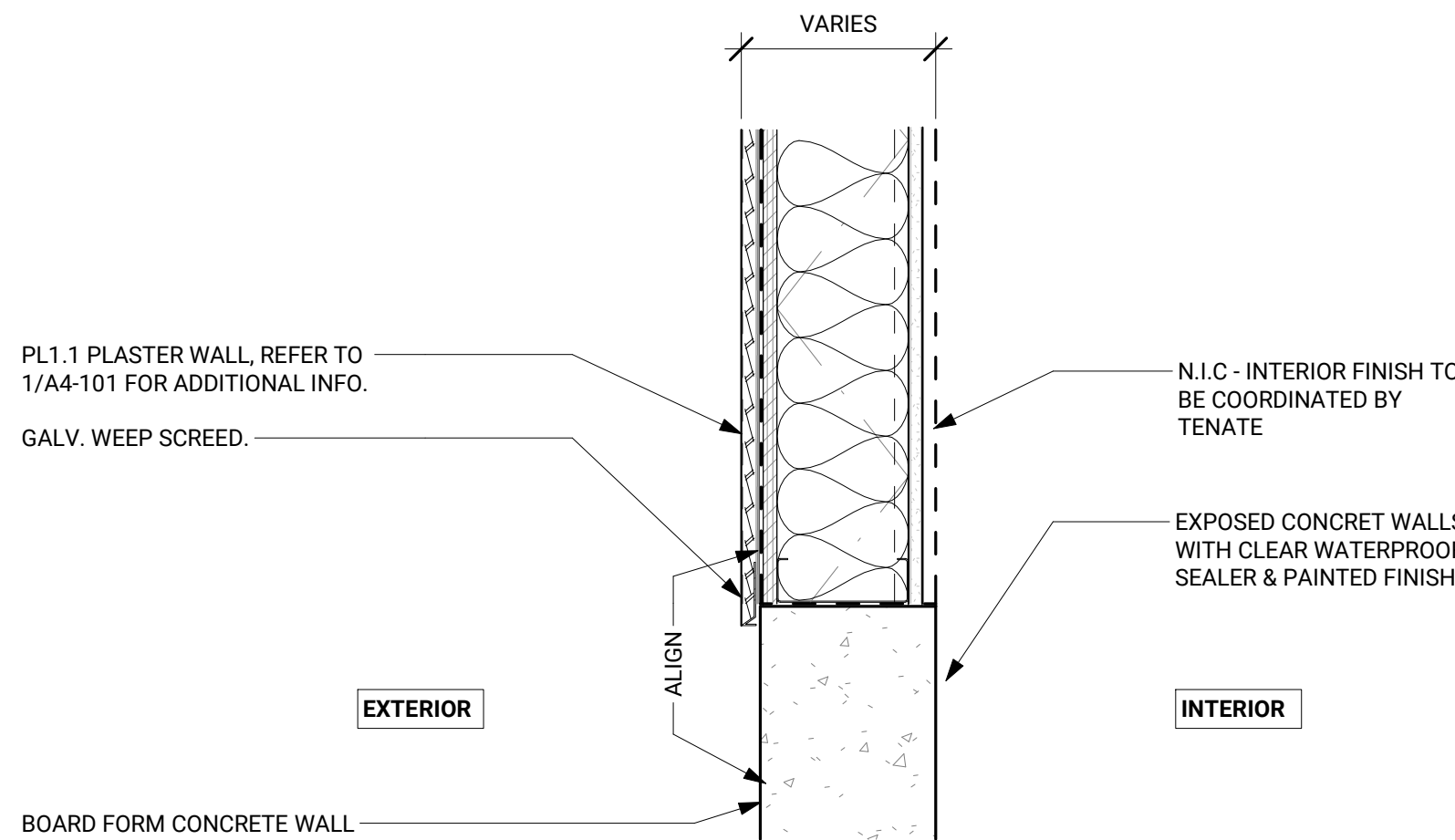
7



PLAN DETAIL - CORNER WALL

SCALE
1/16" = 1'-0"

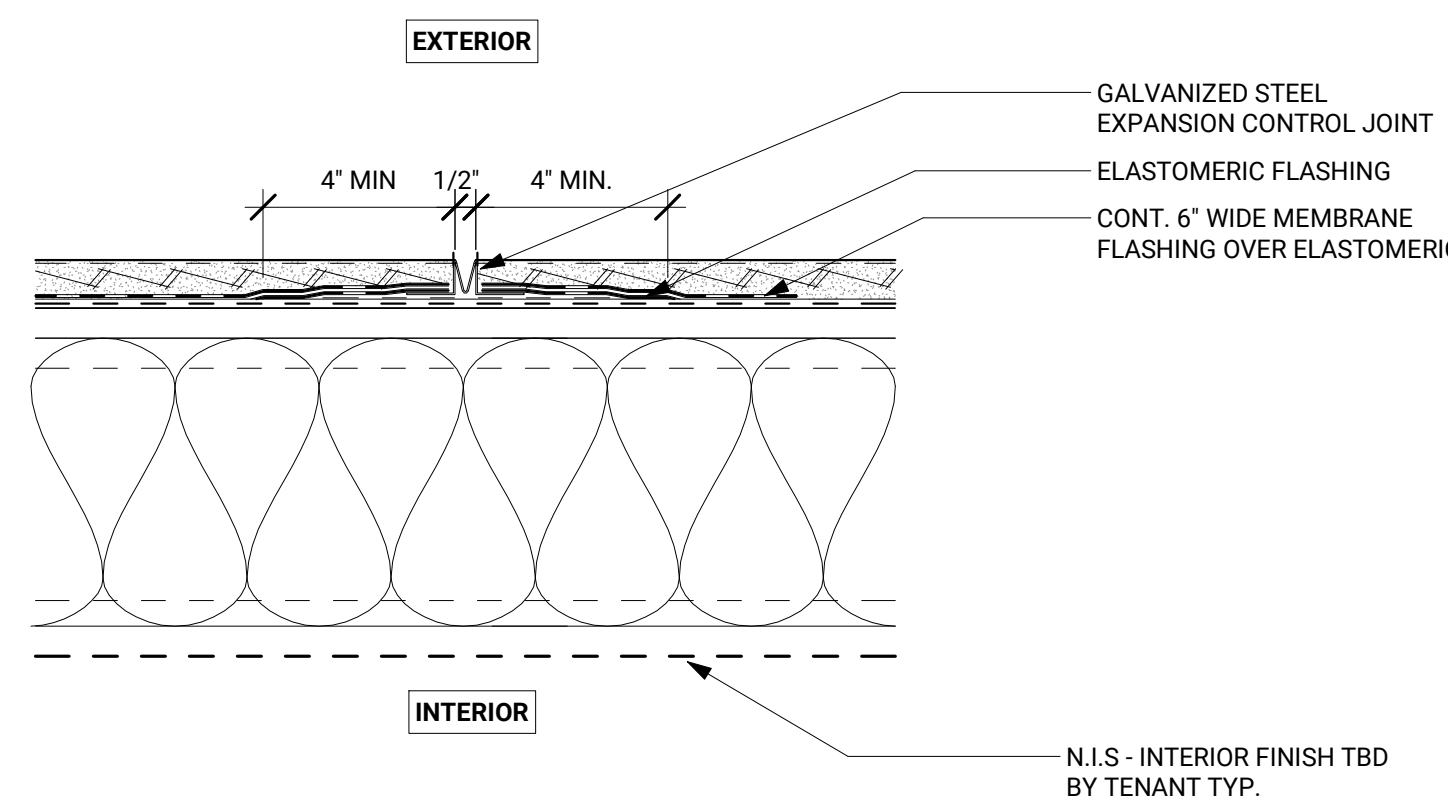
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SECTION DETAIL - CONCRETE TO PLASTER WALL

SCALE
1 1/2" = 1'-0"

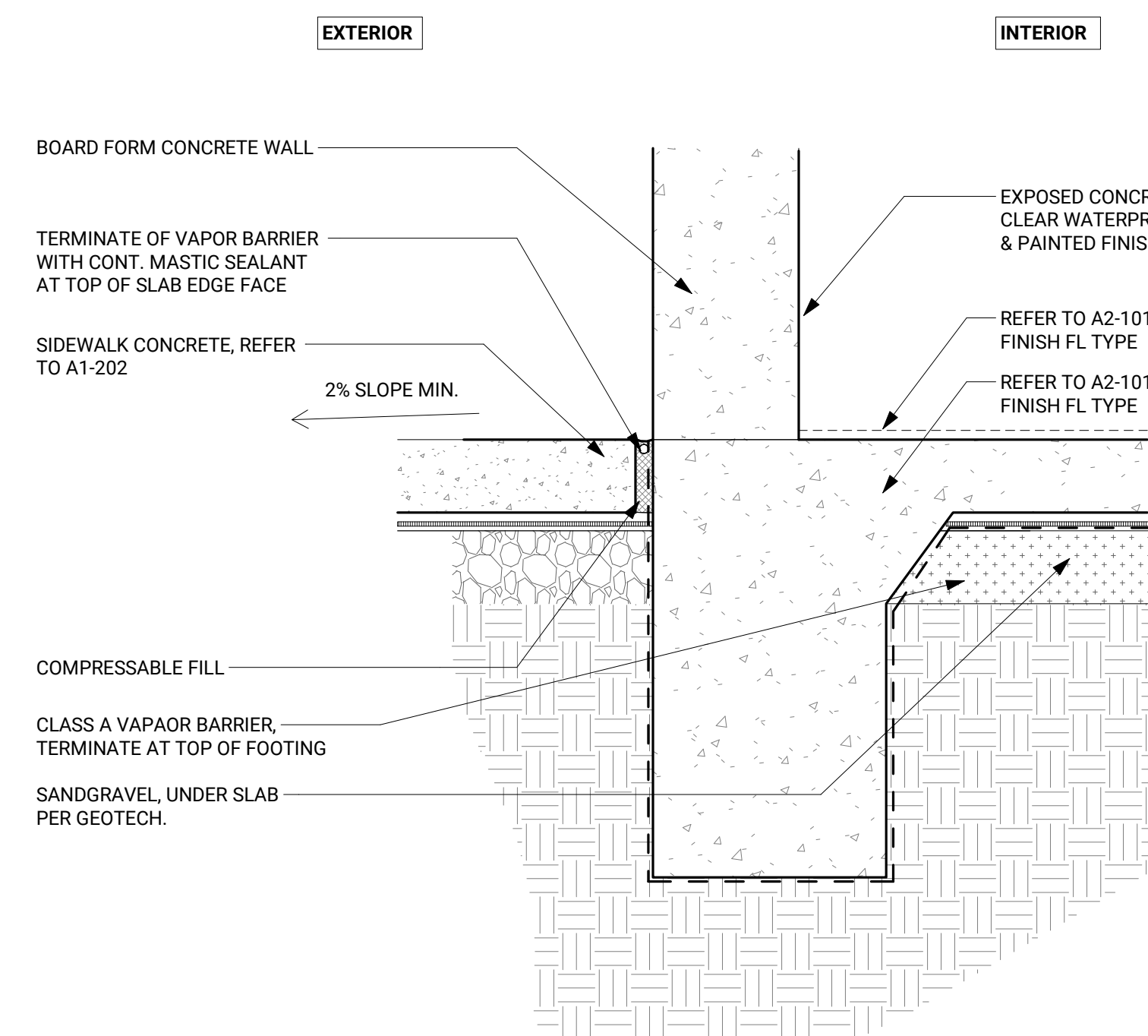
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PLAN DETAIL - CONTROL JOINT

SCALE
3" = 1'-0"

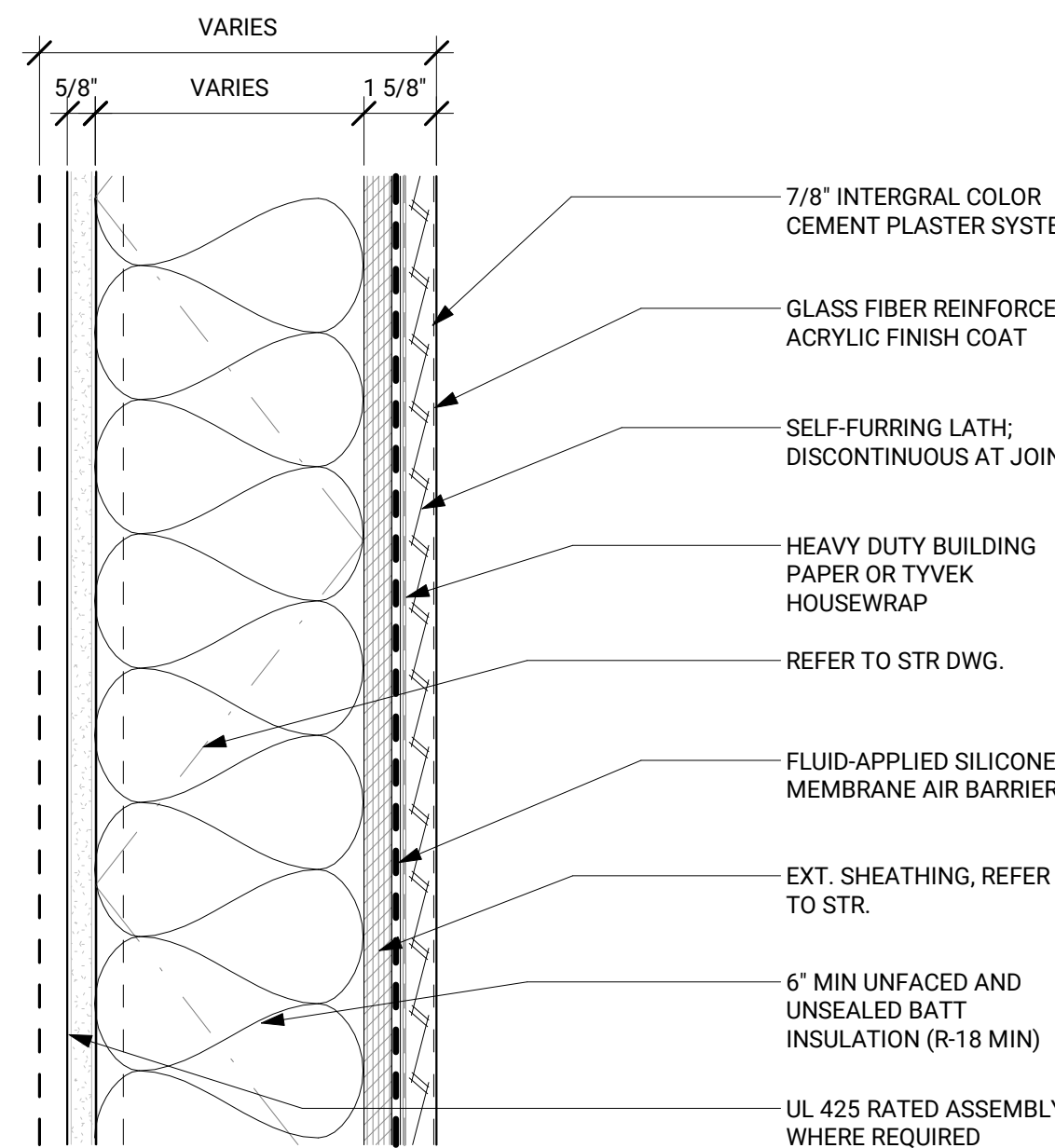
2



SECTION BASE DETAIL - BOARD FORM WALL

SCALE
1 1/2" = 1'-0"

5



SECTION DETAIL - PLASTER WALL

SCALE
3" = 1'-0"

1

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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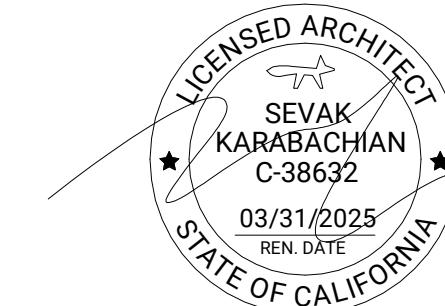
CIVIL
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NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
CMU DETAILS

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

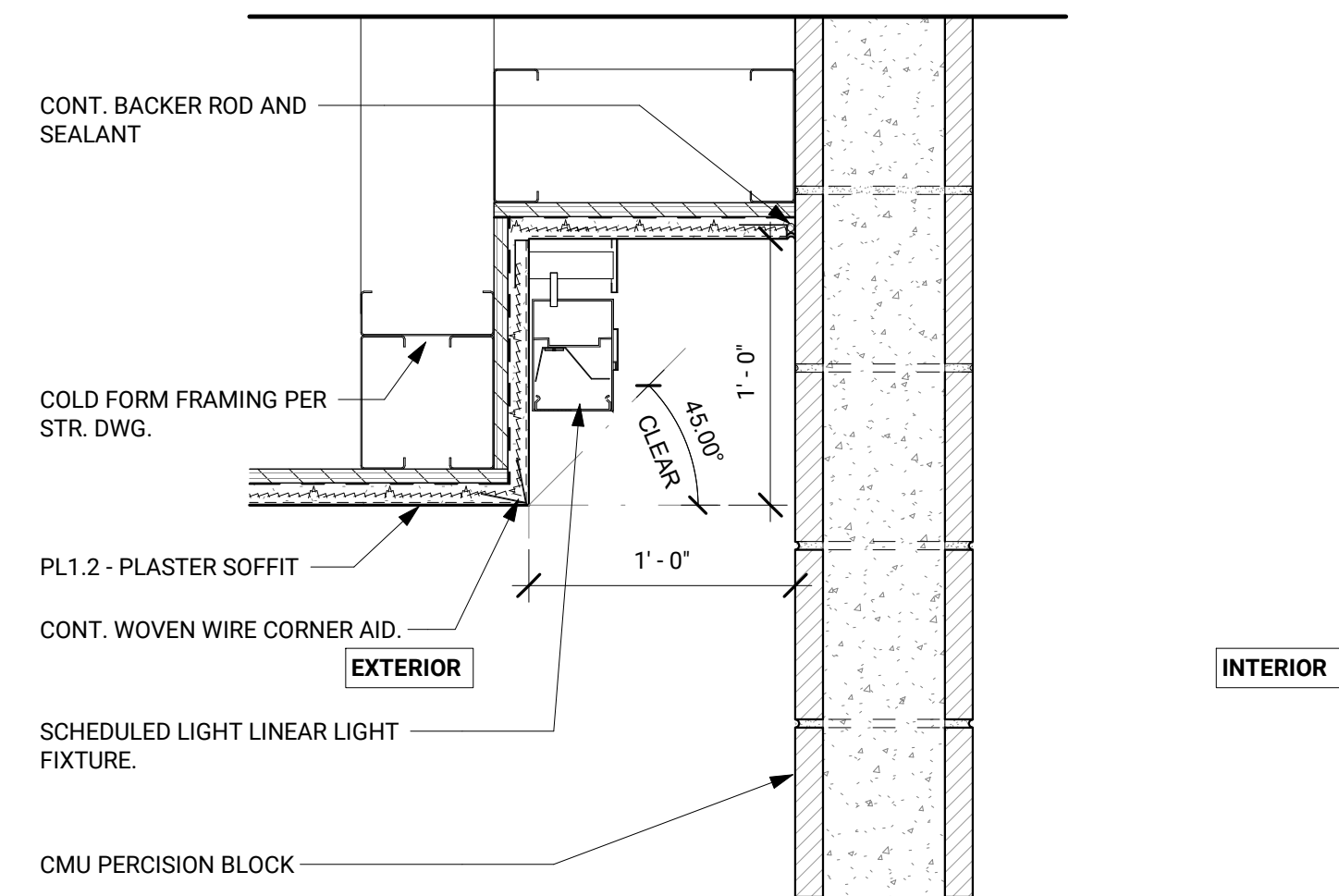
ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007
SCALE:
1 1/2" = 1'-0"
DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER

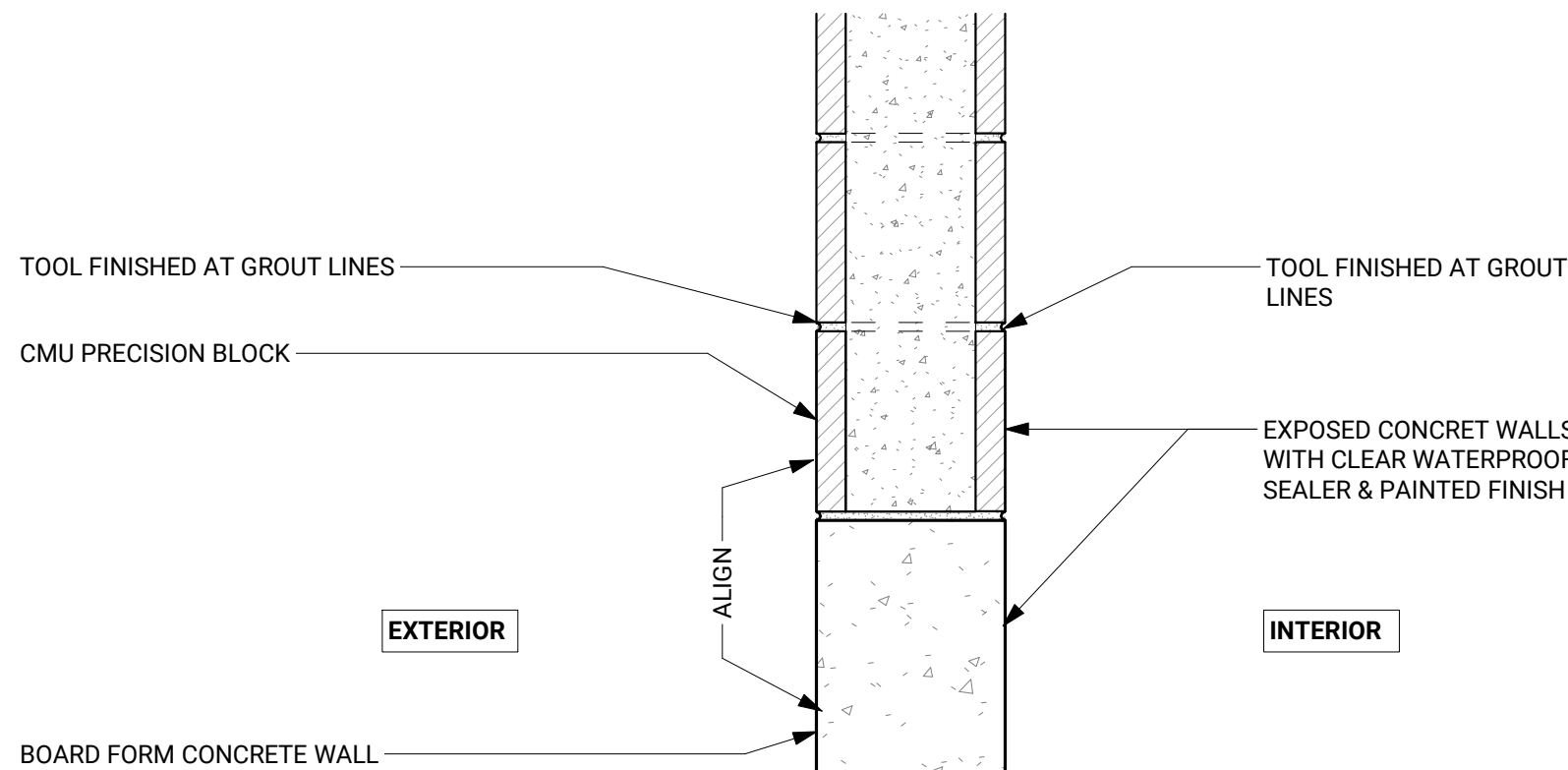
A4-300



SECTION DETAIL - LIGHT COVE

SCALE
1 1/2" = 1'-0"

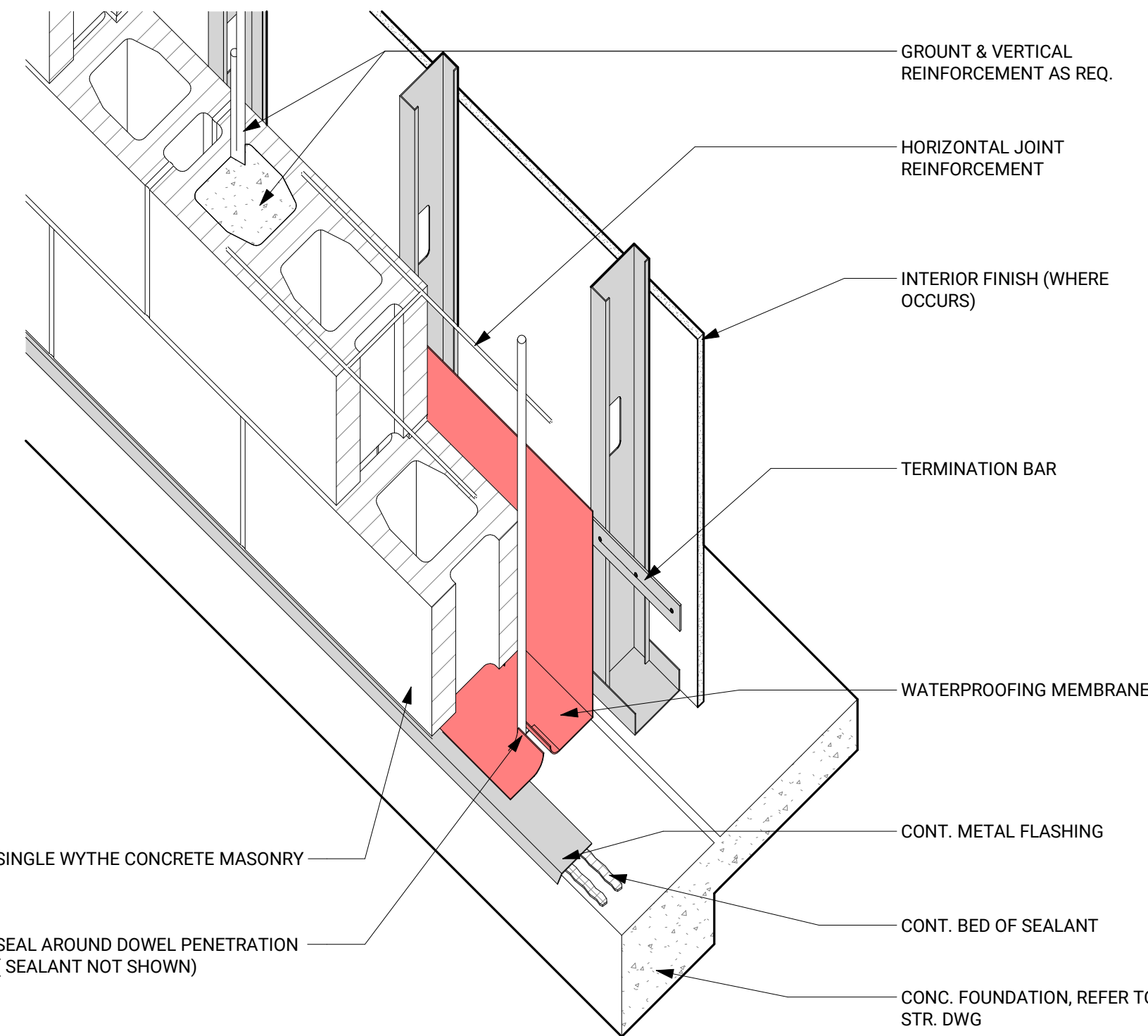
3



SECTION DETAIL - CONCRETE TO CMU WALL

SCALE
1 1/2" = 1'-0"

2



CMU BASE DETAIL

SCALE
1 1/2" = 1'-0"

1

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
GLAZING DETAIL

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

3" = 1'-0"

DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

A4-301



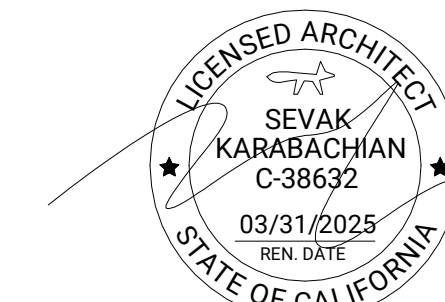
4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

© KARABACHIAN

C:\Users\mlb\Documents\2024-007 - NEW CARWASH.dwg 11/15/2024 11:15 AM

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
**PARKING CANOPY
DETAILS**

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

1/2" = 1'-0"

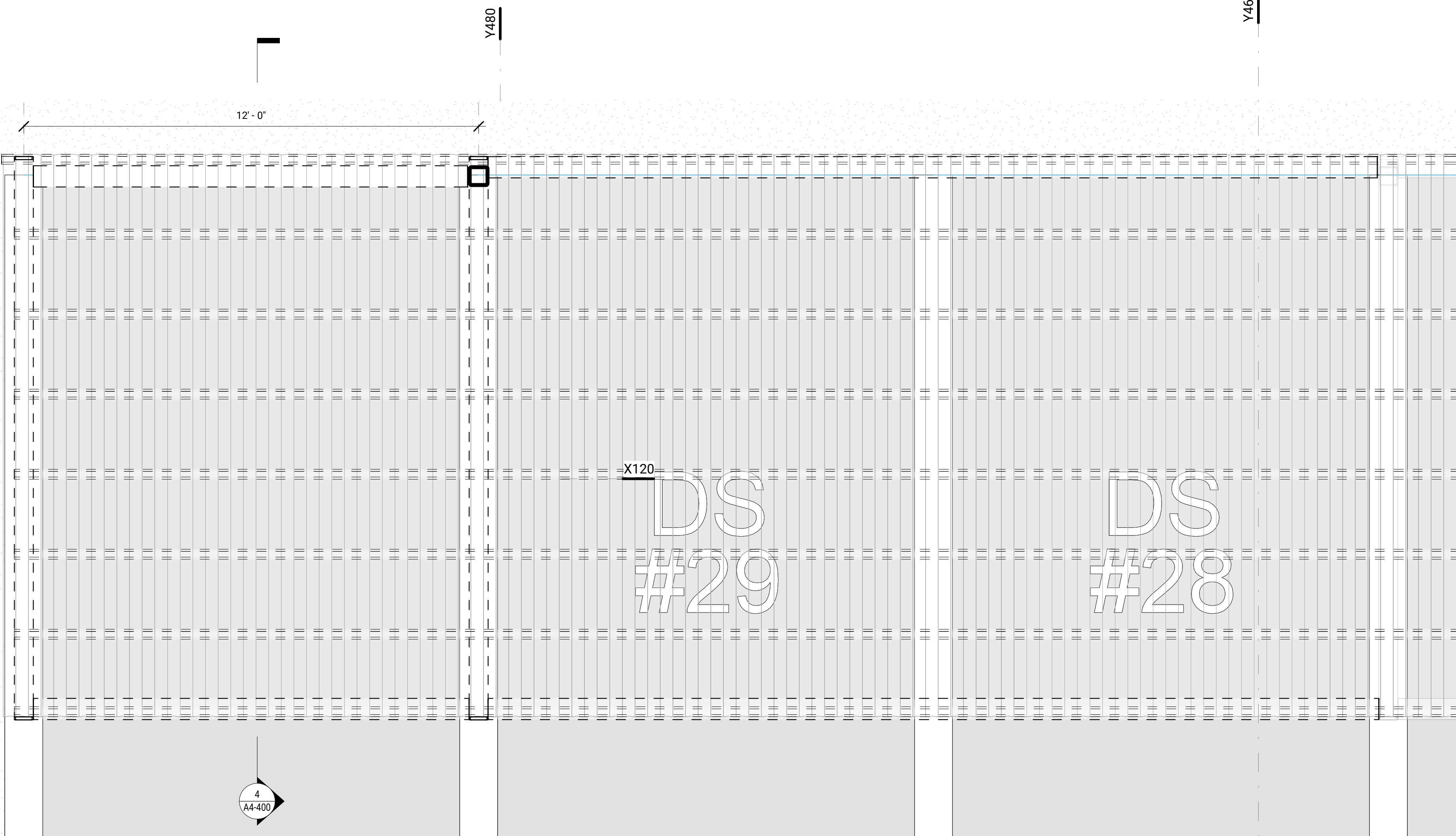
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DATE:

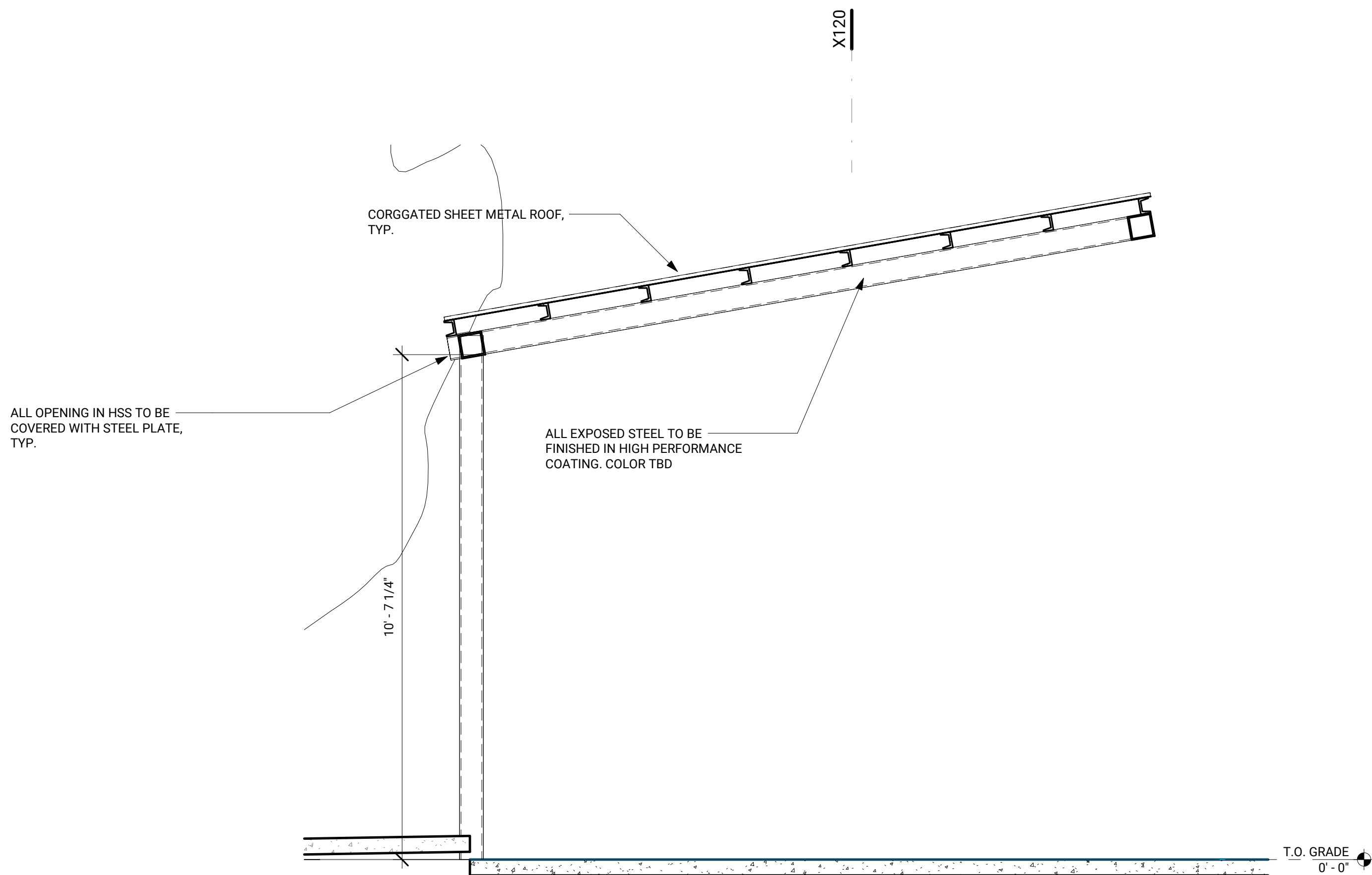
11/15/2024

SHEET NUMBER:

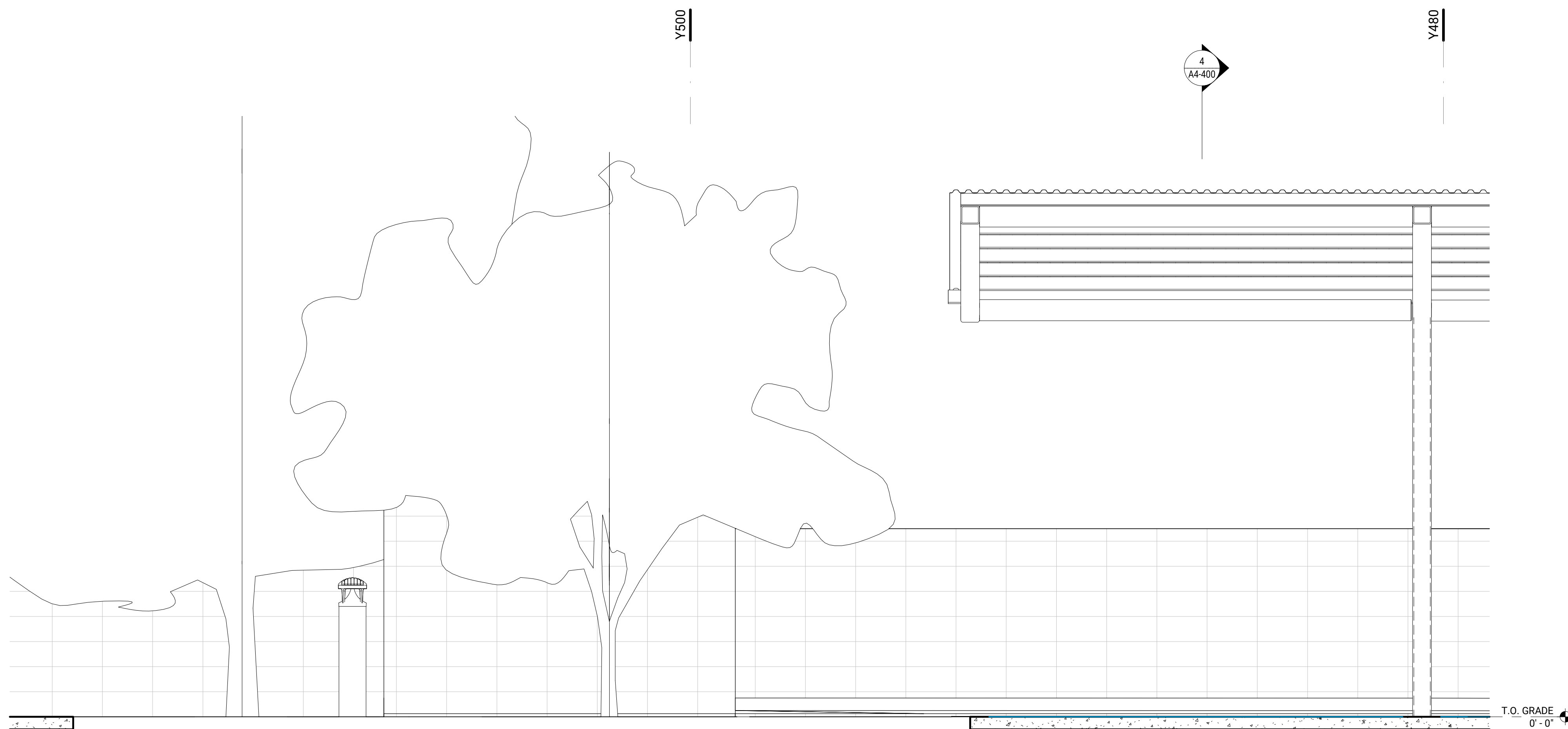
A4-400



1 PLAN - PARKING CANOPY
1/2" = 1'-0"



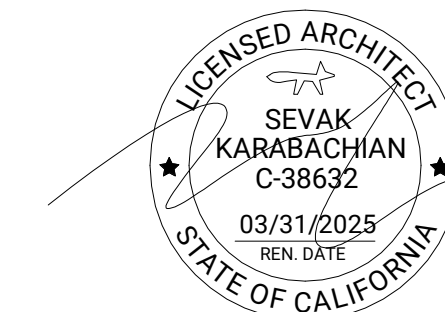
4 SECTION - PARKING CANOPY
1/2" = 1'-0"



2 ELEVATION - PARKING CANOPY
1/2" = 1'-0"

4' x 5.5' BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
ROOF DETAILS

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

3" = 1'-0"

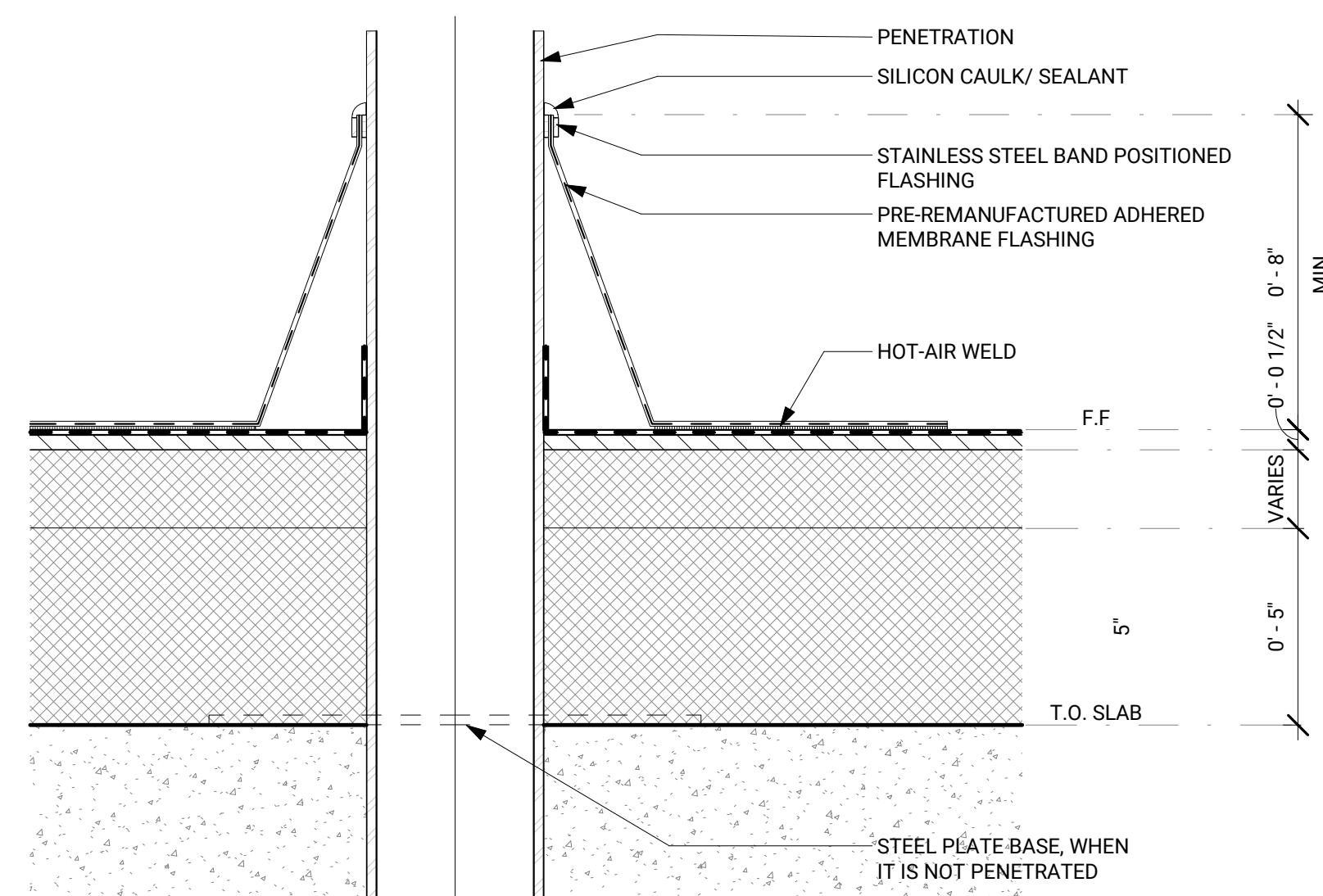
DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

A4-900

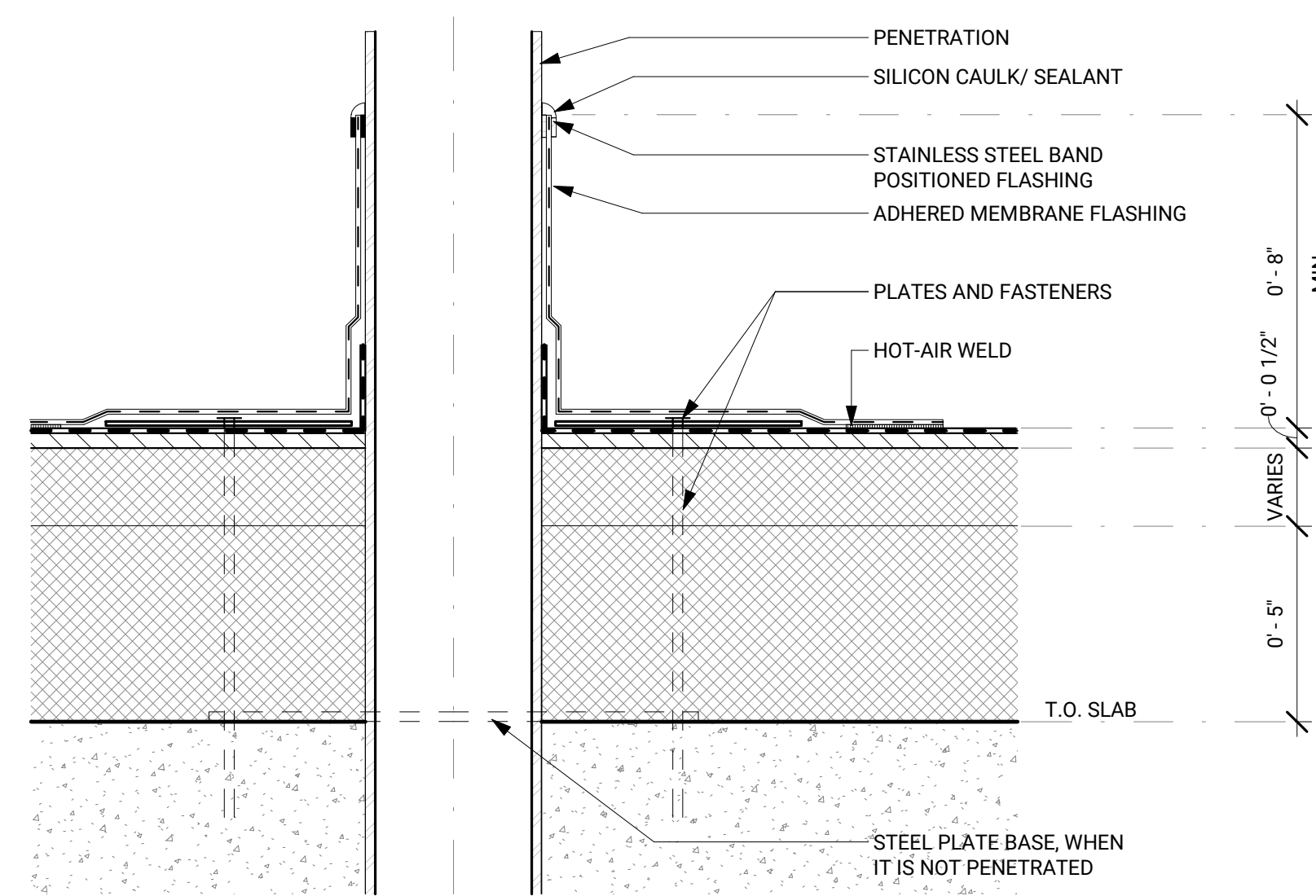


- NOTES:
- PENETRATIONS SHOULD HAVE A RECOMMENDED 12" OF CLEARANCE ON ALL SIDES FROM WALLS, CURBS AND OTHER PROJECTIONS.
 - PENETRATIONS SHOULD BE RIGID, ROUND OR SQUARE TUBE AND EXTEND PERPENDICULAR FROM THE SURFACE OF THE ROOF.

PVC ROOF MEMBRANE - PENTRATION FLASHING - PREMANUFACTURED BOOT

SCALE
3" = 1'-0"

4

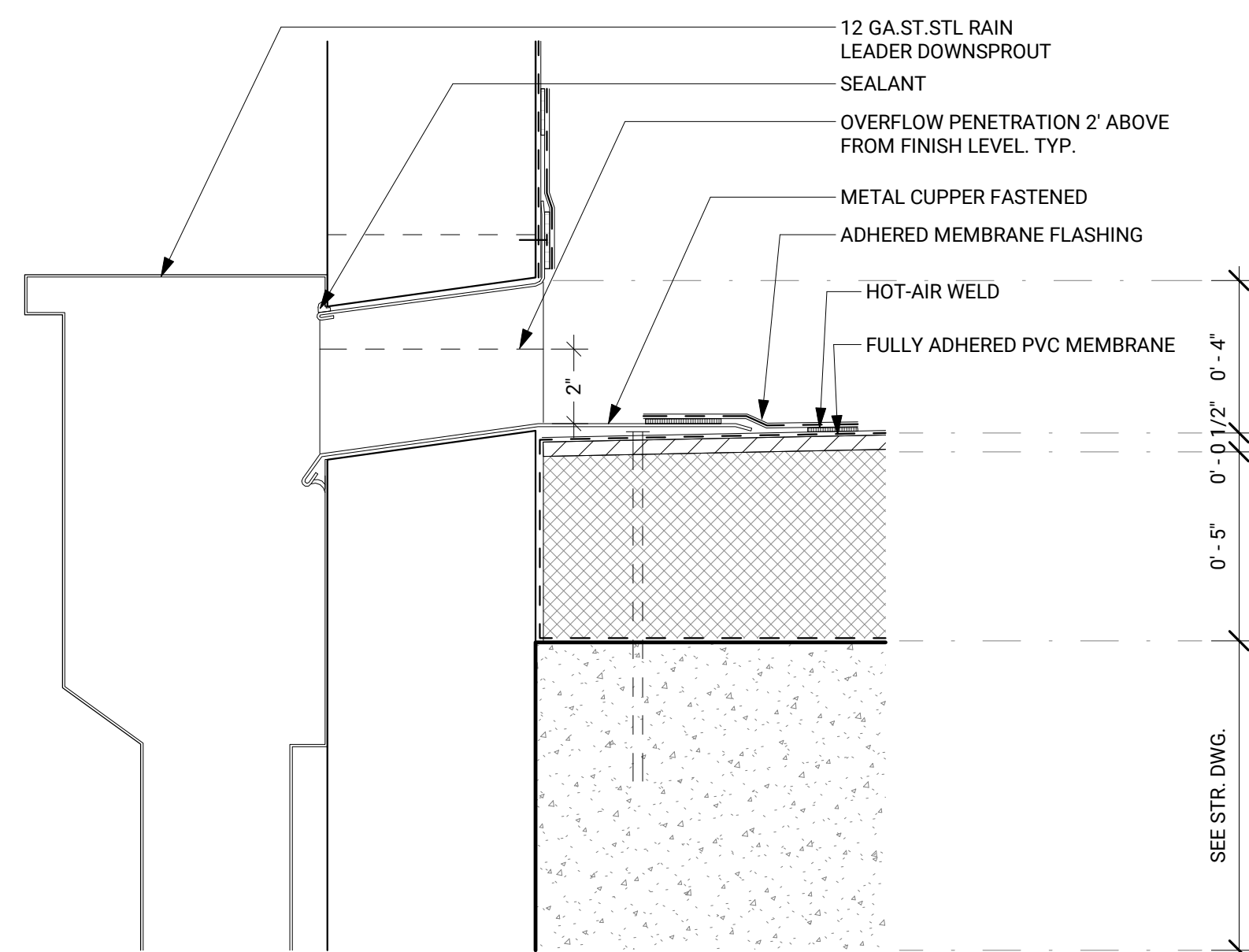


- NOTES:
- PENETRATIONS SHOULD HAVE A RECOMMENDED 12" OF CLEARANCE ON ALL SIDES FROM WALLS, CURBS AND OTHER PROJECTIONS.
 - PENETRATIONS SHOULD BE RIGID, ROUND OR SQUARE TUBE AND EXTEND PERPENDICULAR FROM THE SURFACE OF THE ROOF. THIS DETAIL IS TO BE USED ONLY WHEN A PREMANUFACTURED FLASHING MEMBRANE CANNOT BE USED.

PVC - ROOF MEMBRANE - PENTRATION FLASHING - FEILD WRAP

SCALE
3" = 1'-0"

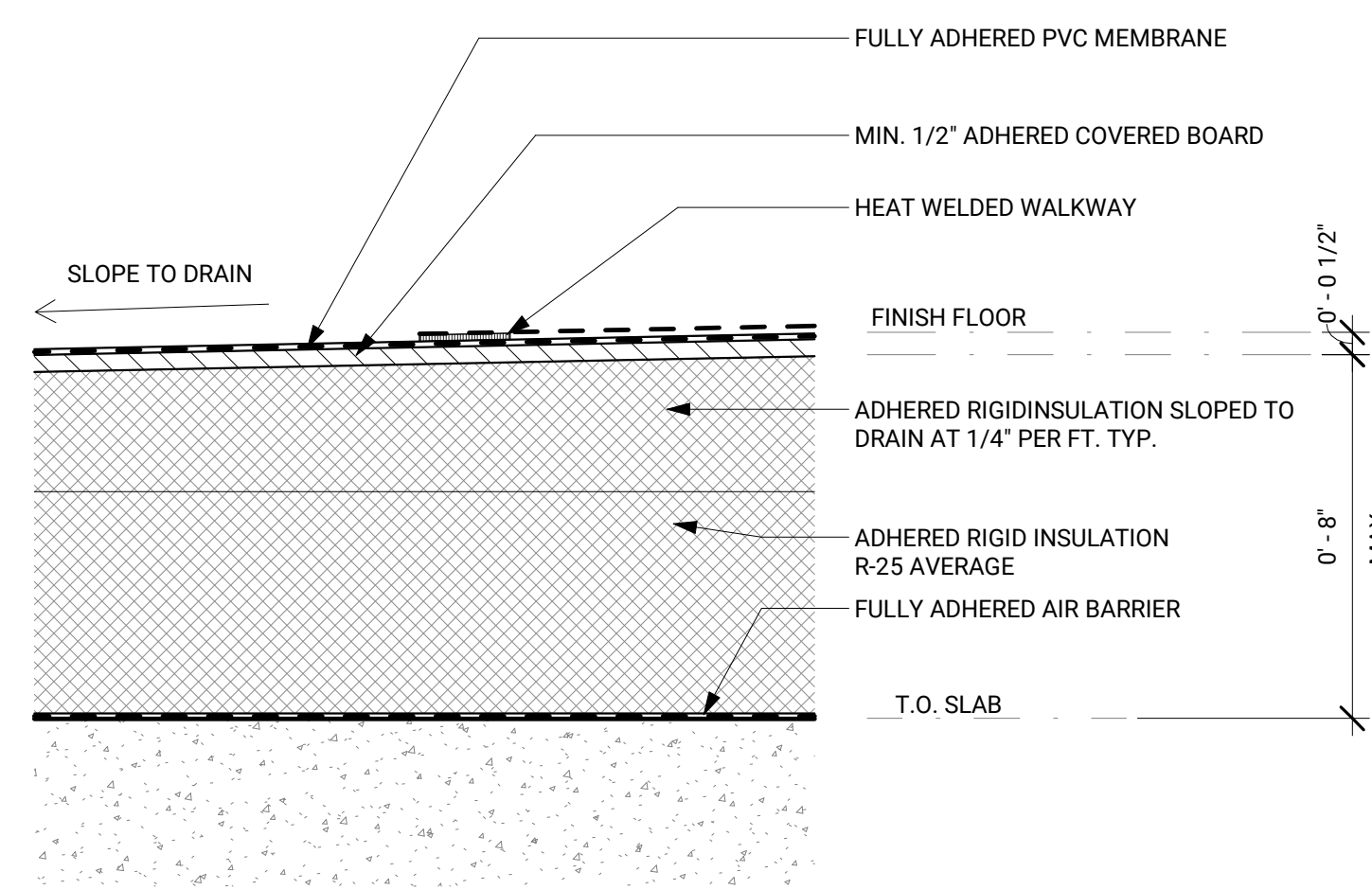
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PVC - ROOF MEMBRANE - WALL SCUPPER

SCALE
3" = 1'-0"

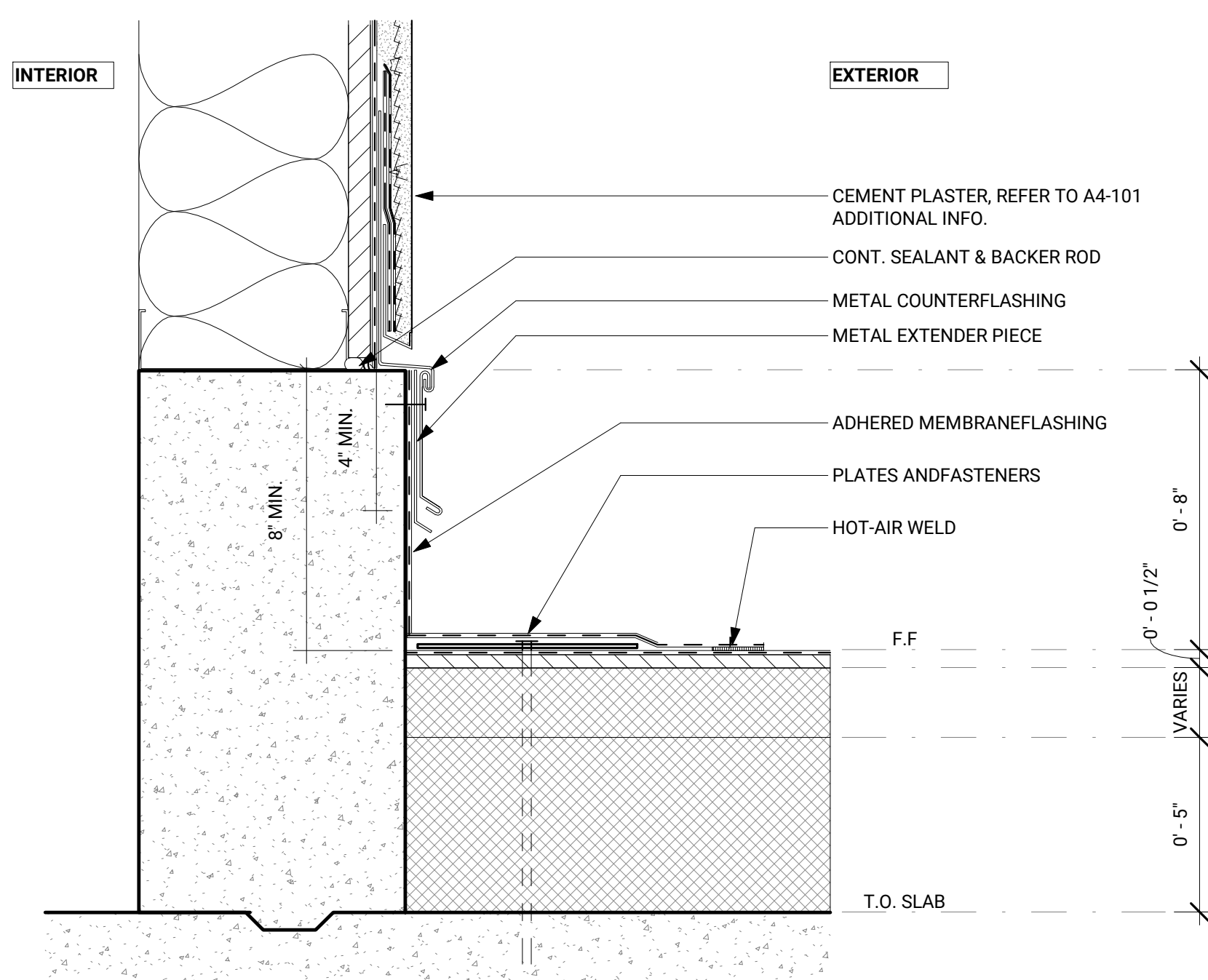
6



TYP. PVC ROOF MEMBRANE DETAIL

SCALE
3" = 1'-0"

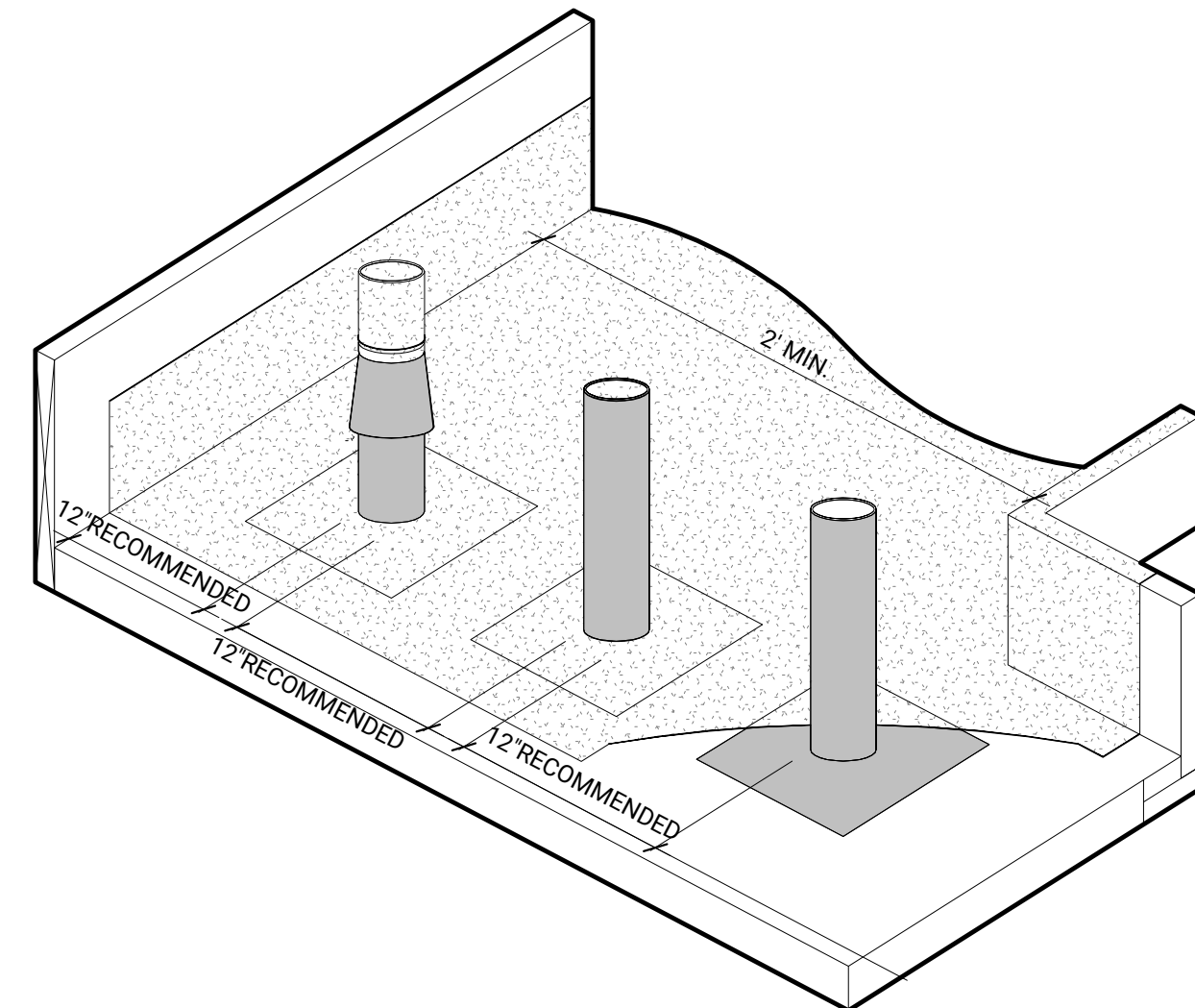
2



PVC ROOF MEMBRANE - PLASTER WALL TERMINATION

SCALE
3" = 1'-0"

5



- NOTES:
- THESE DIMENSIONS ARE INTENDED TO PROVIDE MINIMUM CLEARANCES TO ALLOW FOR PROPER FLASHING. LARGER DIMENSION MAY BE REQUIRED.
 - PENETRATIONS SHOULD BE RIGID, ROUND OR SQUARE TUBE AND EXTEND PERPENDICULAR FROM THE SURFACE OF THE ROOFING SURFACE. A RECOMMENDED DIMENSION OF 3".
 - ACTUAL MEP SPACING OF PENETRATIONS MAY NOT PROVIDE FOR 12" CLEARANCE, BUT IN NO CASE SHALL SPACINGS BE LESS THAN REQUIRED FOR THE ROOFING MEMBRANE FLASHING TO BE PROPERLY INSTALLED COORDINATE ALL SPACING WITH ROOFING CONTRACTOR.
 -

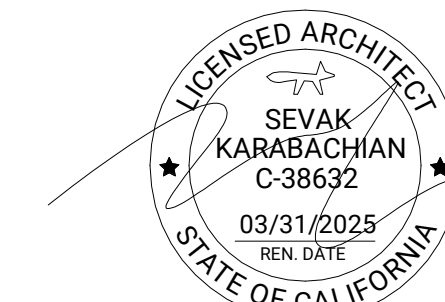
PVC ROOF MEMBRANE - PENTRATION SPACING STANDARDS

SCALE
3" = 1'-0"

1

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:

RCP

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

As indicated

DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER

A6-101

LEGEND RCP

- RECESSED DOWN LIGHT
- ◐ WALL MOUNTED LIGHT FIXTURE
- LINEAR AND/OR BUILT-IN FIXTURE
- RECESSED SPRINKLER HEAD
- ⊗ PENDANT LIGHT FIXTURE
- ◑ RECESS WALL MOUNTED LIGHT FIXTURE
- ▽ WALL MOUNTED SPRINKLER HEAD
- ⊗ COMBINATION SMOKE AND CARBON MONOXIDE ALARM
- ⊗ EXHAUST FAN 50CFM INTERMITTENT
AT ALL BATHROOM LOCATIONS FANS SHALL
BE ENERGY STAR COMPLIANT AND DUCTED
TO TERMINATE OUTSIDE OF THE BUILDING.
FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- GWV VARIES
CEILING MATERIAL
CEILING HEIGHT
- CEILING FAN W/ LIGHT FIXTURE

2 RCP - RETAIL PLAN
1/4" = 1'-0"

1 FIRST FLOOR PLAN
1/4" = 1'-0"



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NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
PARTITION NOTES

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

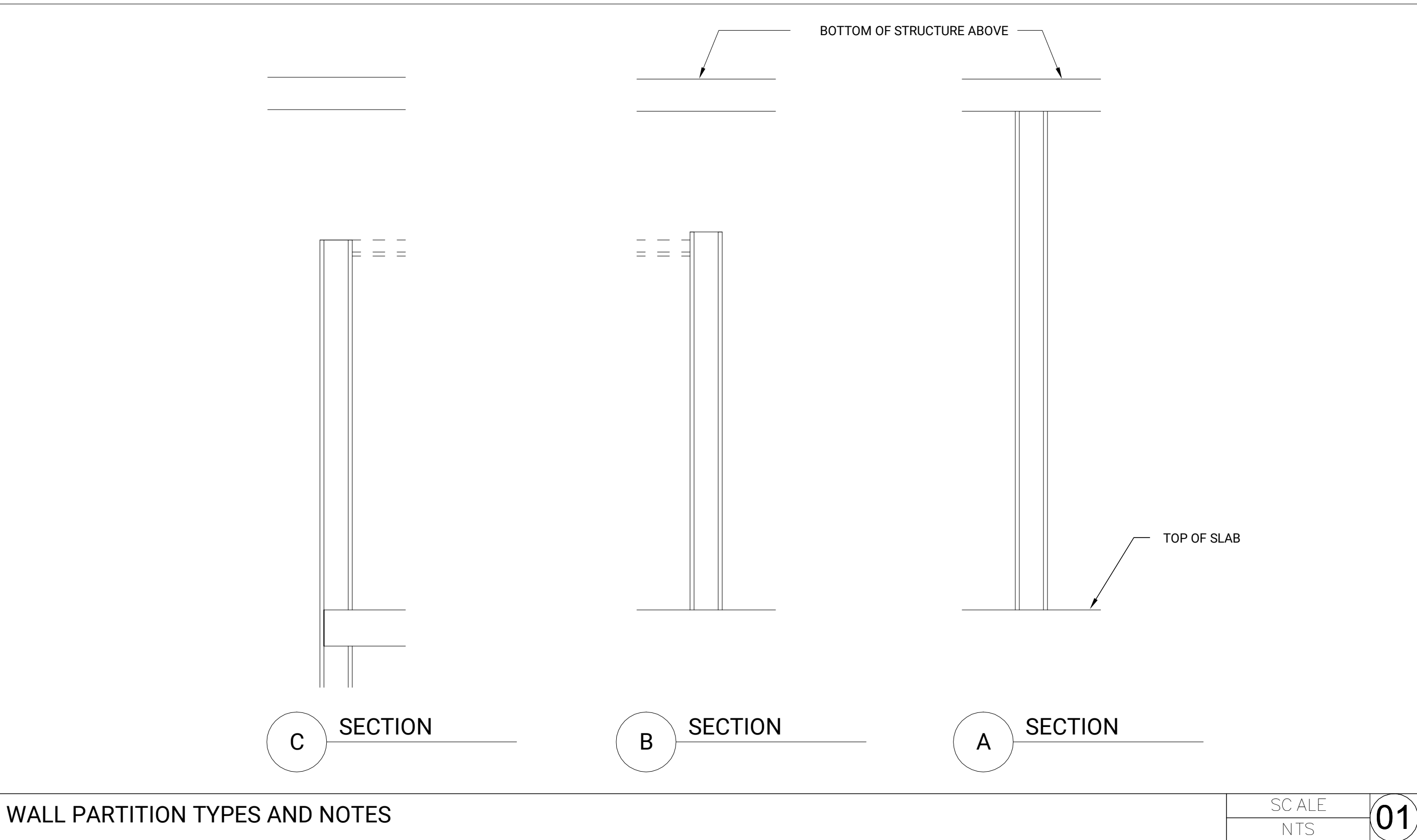
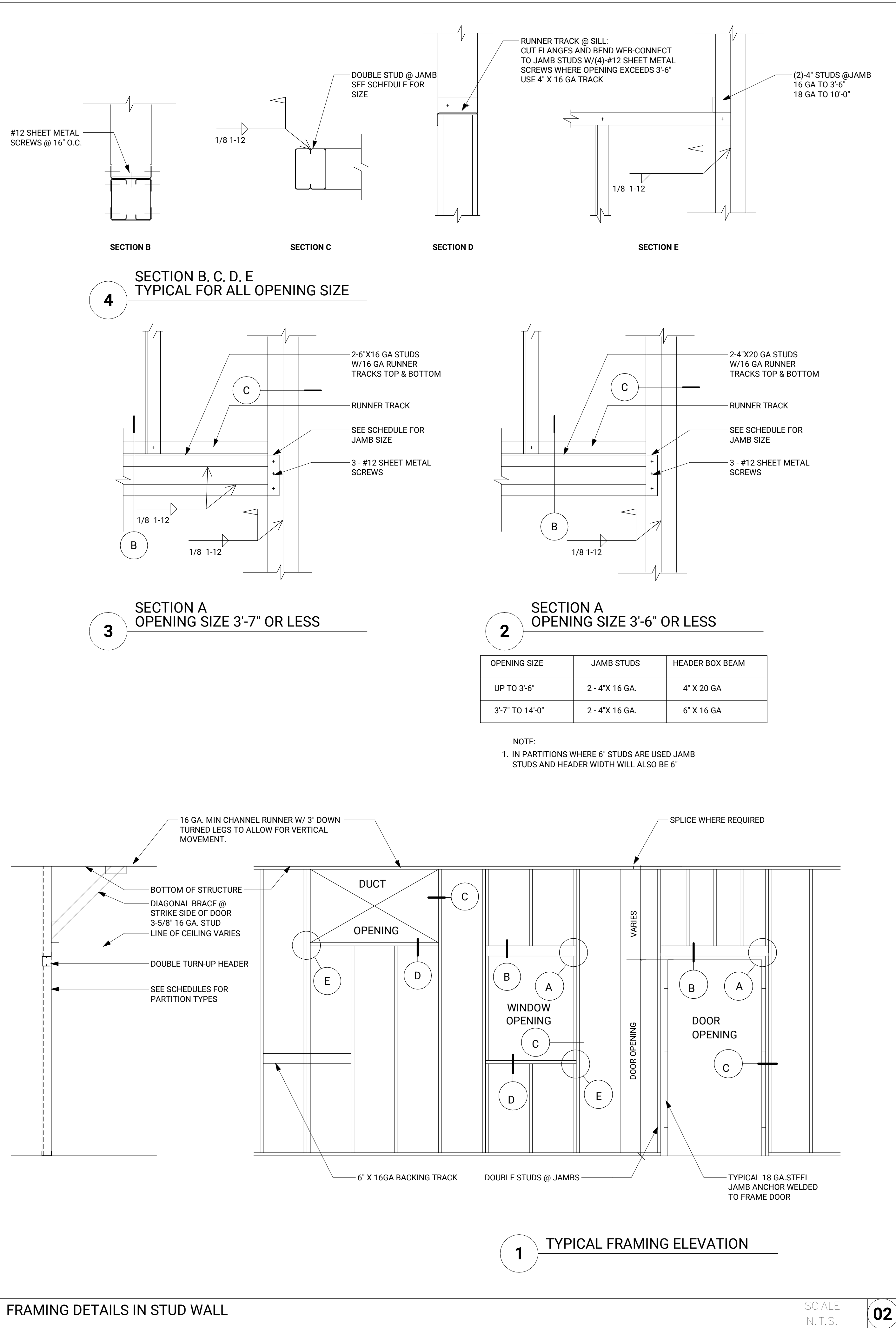
ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007
SCALE:
1/2" = 1'-0"
DRAWN BY:

DATE:
11/15/2024

SHEET NUMBER

A6-301



A. PARTITIONS GENERAL NOTES:

- PARTITION TYPES ARE IDENTIFIED ON A 2-101 SERIES FLOOR PLANS.
- PARTITION TAGS INDICATE THE REQUIRED FIRE RATING FOR ASSOCIATED PARTITION CONSTRUCTION AS DESCRIBED.
- FIRE RESISTANT PARTITION ASSEMBLIES SHALL BE CONSTRUCTED OF MATERIALS AND IN THE MANNER DESCRIBED IN THE U400 SERIES PARTITION DESIGN IN THE UL FIRE RESISTANCE DIRECTORY AND THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL GA-600.
- PARTITION TAG INDICATES THE COMPLETE WALL ASSEMBLY WITH EXCEPTION OF FINISHES. REFER TO ROOM FINISH SCHEDULE FOR FINISH REQUIREMENTS. WHERE ASSEMBLY HAS MULTIPLE TAGS REFER TO PLANS FOR THICKNESS OF THE PARTITION.
- DIMENSIONS SHOWN ON PLANS ARE MEASURED TO FACE OF FINISHES.
- ALL WOOD STUD PARTITIONS SHALL BE COORDINATED WITH ADJACENT TRADES FOR THE LATERAL BRACING AND BRIDGINS.

B. PARTITION TYPE NAMING CONVENTION

THE PARTITION TAG CONSISTS OF 4 DIGITS. REFER TO THE EXPLANATION OF EACH DIGIT BELOW:

234AA	234AA	234AA	234AA
THE FIRST DIGIT REFERS TO THE REQUIRED FIRE RATING OF THE PARTITION. 0- NON RATED 1- 1 HOUR 2- 2 HOUR 3- 3 HOUR 4- 4 HOUR	THE SECOND AND THIRD DIGITS REFER TO THE PARTITION DETAIL NUMBER ON SHEET AS-302 INTERIOR PARTITION DETAILS.	THE FOURTH DIGIT REFERS TO THE SPECIFIC TYPE WITHIN THE PARTITION DETAIL, AS IDENTIFIED IN THE TYPE CHART BELOW.	THE FIFTH DIGIT REFERS TO THE SPECIFIC SECTION TYPE SHOWN IN SECTION CHART ABOVE.

* THE TYPE CHART ON EACH PARTITION DETAIL DESCRIBES SPECIFIC VARIATIONS. A VARIATION IN A PARTITION TYPE MAY BE DEFINED BY THE INFORMATION IN ANY ONE COLUMN, OR MULTIPLE COLUMNS. COLUMNS INCLUDED ON THE CHARTS VARY ACCORDING TO THE MATERIALS USED IN THE PARTITION ASSEMBLIES. THE FOLLOWING IS AN EXAMPLE OF A CHART FOUND ON THE PARTITION TYPE DETAIL SHEET.

TYPE	STUD SIZE	PARTITION THICKNESS	UL DESIGN	INSULATION	REMARKS
A	3-1/2"	4-3/4"	1 HOUR METH-OR-UL-ES	ACOUST/3"	
B	3-1/2"	4-3/4"	1 HOUR METH-OR-UL-ES	NONE	

ASSEMBLY TYPE:	REFERS TO PARTITION TYPE NOTED IN PLAN AND FINISH SCHEDULE FOR COMPLETE ASSEMBLY
STUD SIZE:	MINIMUM ACCEPTABLE METAL STUD SIZE.
PARTITION THICKNESS:	OVERALL DIMENSION OF PARTITION FROM FACE OF DRYWALL
UL DESIGN NO.	REFERS TO UL FIRE RESISTANCE DESIGNS FOR THE FIRE RATING INDICATED BY THE FIRST DIGIT OF THE PARTITION DETAIL TAG. MULTIPLE UL DESIGN NUMBERS INDICATE
INSULATION :	OTHER ASSEMBLIES THAT VARY DEPENDING ON THE MATERILAS SELECTED. IT IS THE CONTRACTORS RESPONSIBILITY TO SELECT THE CORRECT UL DESIGN FROM AVAILABLE ASSEMBLIES THAT MEET PARTITION CRITERIA. MINIMUM THICKNESS OF INSULATION REQUIRED. REFER TO ENERGY CALCULATIONS FOR INSULATION TYPES.



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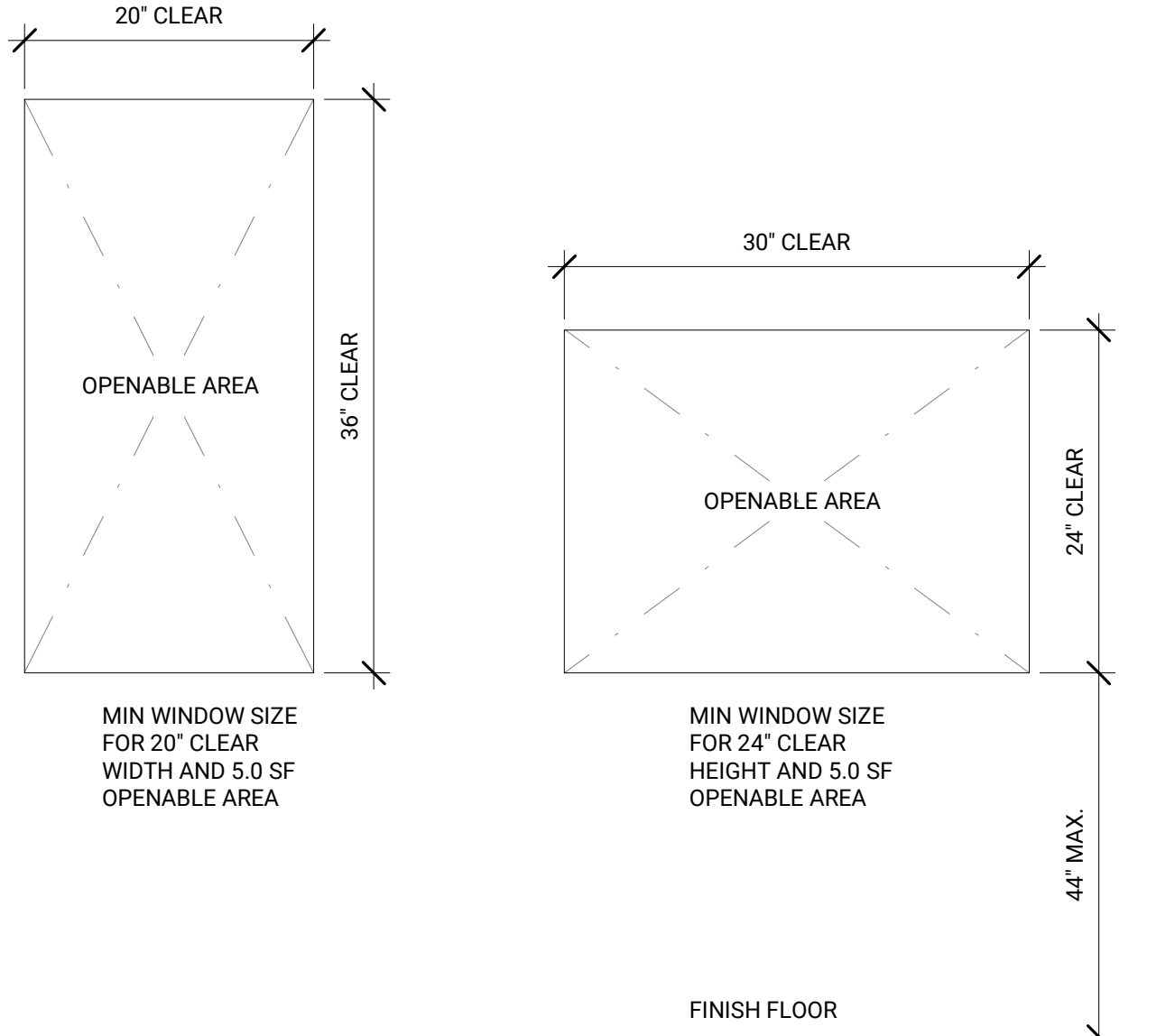
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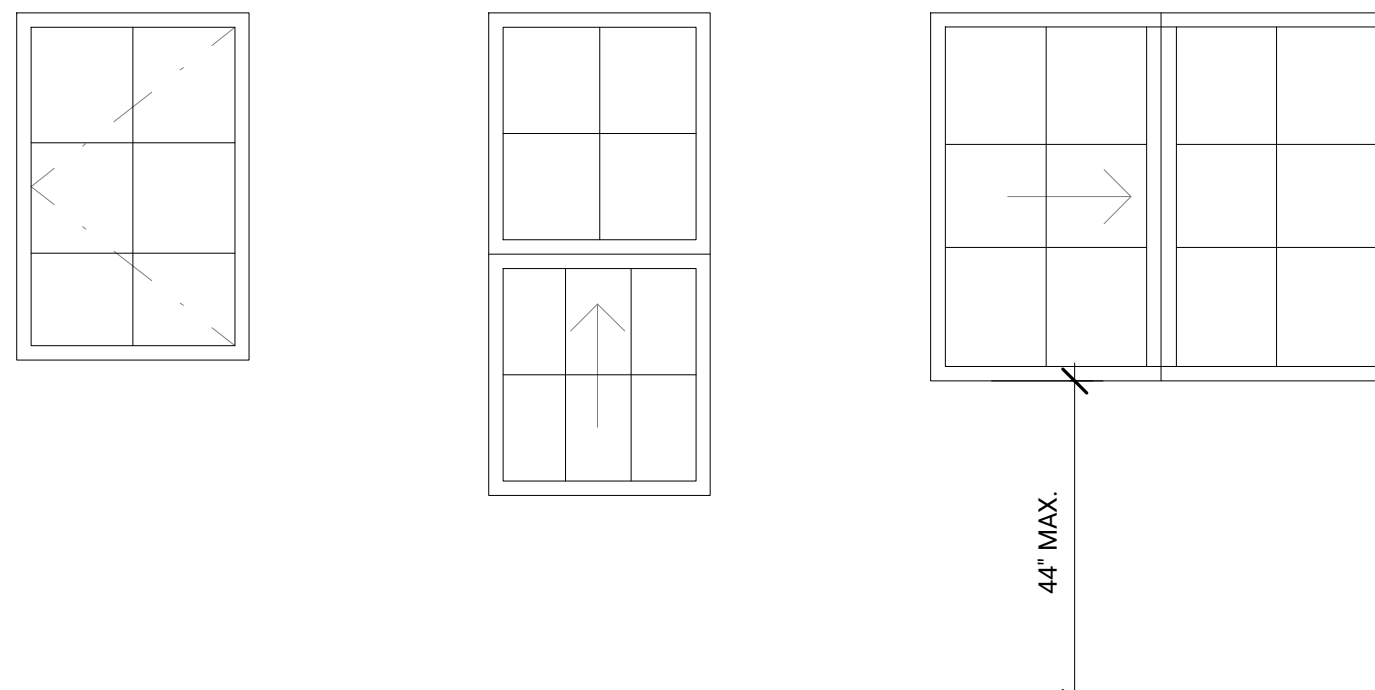
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THE FOLLOWING WINDOW SIZES WILL BE
THE MINIMUM ALLOWED FOR 5.0 SF



- 20' MIN CLEAR WIDTH
- 24' MIN CLEAR HEIGHT
- 5.0 SF MIN OPENABLE AREA AT GRADE FLOOR ONLY, 5.7 SF MIN ELSEWHERE.



SINGLE CASEMENT:
2'-4" X 4'-0"
2'-6" X 3'-6"
DOUBLE CASEMENT:
3'-4" X 3'-0"
4'-8" X 4'-0"
CASEMENT / FIXED COMBO:
7'-0" X 4'-0"

SINGLE / DOUBLE HUNG:
3'-0" X 3'-6"
3'-0" X 3'-6"
3'-4" X 3'-0"
3'-6" X 3'-0"
4'-0" X 3'-0"

SLIDER:
4'-0" X 4'-0"
5'-0" X 3'-6"
6'-0" X 3'-0"
SLIDER / FIXED COMBO:
8'-0" X 4'-0"
10'-0" X 4'-0"
12'-0" X 3'-0"

GENERAL NOTES:

- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE LABELED AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION AND UL LABELED FOR RATED DOORS AND/OR WINDOWS.
- GLASS PANES WITHIN 18" AFF OR LESS SHALL BE TEMPERED.
- WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 2-1/2" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN A 90 DEGREE POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE

PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
WINDOW & DOOR
SCHEDULE

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

As indicated

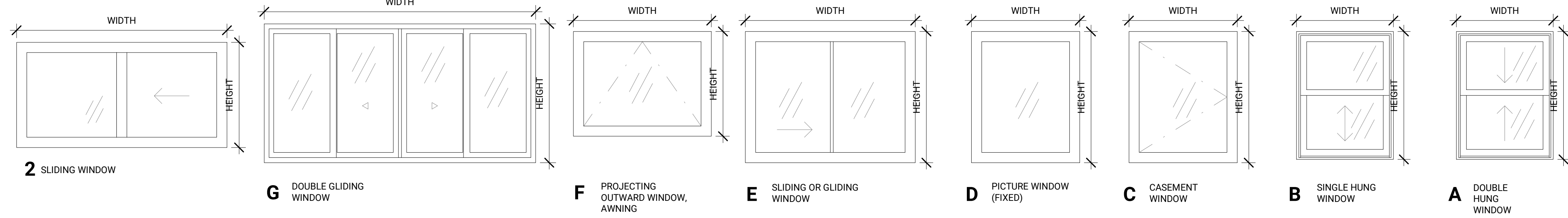
DRAWN BY:

DATE:

11/15/2024

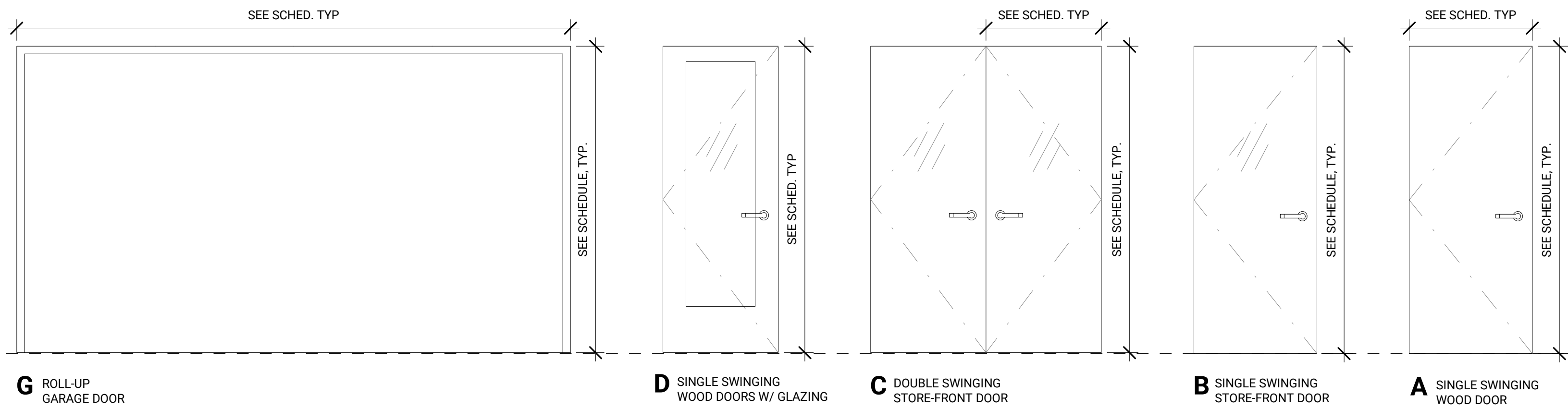
SHEET NUMBER

A6-401



WINDOW SCHEDULE											
TYPE	ROUGH OPENING		Count	MANUFACTURER	MODEL	MATERIAL	FINISH	DETAIL			COMMENTS
	WIDTH	HEIGHT						HEAD	JAMB	SILL	
CARWASH											
D1	6'-0"	4'-0"	1								0.78 0.6496 BTU/(h-R ² -F)
D3	6'-0"	3'-6"	1								0.78 0.6496 BTU/(h-R ² -F)
D2	5'-0"	3'-6"	1								0.78 0.6496 BTU/(h-R ² -F)

STORE FRONT GLAZING SCHEDULE						
PANEL MARK	TYPE	HEIGHT	WIDTH	(U) - FACTOR	SHGC	DESCRIPTION
	Glazed	2'-3 1/4"	3'-10 19/32"	1.18 BTU/(h-R ² -F)	0.86	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
CARWASH						
D1	Glazed - 01	6'-8 1/4"	2'-8 1/4"	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
D2	Glazed - 02	<varies>	5'-7"	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
D3	Glazed - 03	5'-7"	<varies>	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
D6	Glazed - 06	1'-7"	3'-8 21/32"	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
D7	Glazed - 07	1'-7"	3'-8 21/32"	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
RETAIL						
D8	Glazed - 08	6'-8 1/4"	3'-8 1/4"	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
D9	Glazed - 09	2'-1 1/4"	3'-8 1/4"	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
D10	Glazed - 10	<varies>	<varies>	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS
D11	Glazed - 11	<varies>	3'-10 19/32"	0.30 BTU/(h-R ² -F)	0.23	DIM. DO NOT INCLUDE 2 1/2" MULLION, TEMPERED GLASS



DOOR SCHEDULE													
DOOR #	DOOR TYPE	Function	DOOR SIZE		MANUFACTURER	FRAME TYPE	DETAILS			DESCRIPTION	FINISH DOOR	GLAZING	
			Width	Height			HEAD	JAMB	SILL			SHGC	(U) - FACTOR
109.1	E	Exterior	6'-0"	7'-0"									
D.9	E	Exterior	6'-0"	7'-0"									
106.1	H	Exterior	3'-0"	7'-0"									
101.3	H	Exterior	3'-0"	7'-0"									
101.5	H	Exterior	3'-0"	7'-0"									
CARWASH													
104.1	B	Interior	2'-8"	7'-0"								0	0.6520 BTU/(h-R ² -F)
102.2	B	Interior	2'-8"	7'-0"								0	0.6520 BTU/(h-R ² -F)
103.1	B	Exterior	2'-8 1/4"	6'-10 3/4"									
105.1	C	Exterior	5'-7"	6'-8 1/4"									
105.2	C	Exterior	5'-7"	6'-4 3/4"									
102.1	F	Exterior	3'-0"	7'-0"									
101.2	G	Exterior	12'-0"	10'-0"									
101.4	G	Exterior	12'-0"	10'-0"									
106.2	H	Exterior	3'-0"	7'-0"									
105.3	H	Exterior	3'-0"	7'-0"									
105.4	H	Exterior	3'-0"	7'-0"									
RETAIL													
D.2	B	Exterior	3'-10 19/32"	6'-10 3/4"									
D.1	B	Exterior	3'-10 19/32"	6'-10 3/4"									
D.3	B	Exterior	3'-10 19/32"	6'-10 3/4"									
D.4	B	Exterior	3'-10 19/32"	6'-10 3/4"									

4' x 5.5' BOUNDARY RESERVED FOR AHJ APPROVAL STAMP



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PROJECT DIRECTORY

SCOPE OF WORK GRADING AND DRAINAGE PLAN

CIVIL ENGINEER MLB CONSULTING & ENGINEERING INC.
7918 FOOTHILL BLVD.
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(818)521-6342

PROJECT INFORMATION

PROJECT ADDRESS LANCASTER, CA 93535

LOT SIZE 39,405

APN 3123-005-042

LOT 42

SHEET INDEX

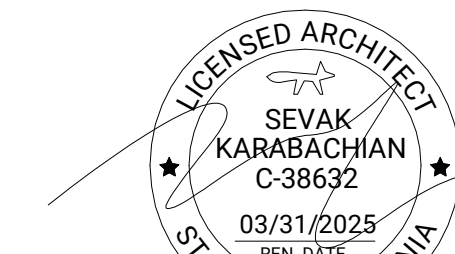
C-0.1	GRADING COVER SHEET & NOTES
C-1.0	GRADING PLAN
C-2.0	GRADING VOLUME CALCULATIONS
C-3.0	DRAINAGE PLAN
C-3.1	DRAINAGE DETAILS
C-3.2	DRAINAGE DETAILS

GRADING VOLUME SUMMARY

TOTAL CUT	891	CY
TOTAL FILL	798	CY
NET EXPORT/IMPORT	93	CY EXPORT

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:

3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:

GRADING NOTES

GRADING NOTES

C-0.1

DATE: 09/17/2024
JOB NO: MLB24-383



DESIGNED BY: AA
CHECKED BY: GB

APN:3123-005-042
LANCASTER, CA
93535

GRADING - GENERAL NOTES

GENERAL NOTES:

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2020 COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S), OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
- APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.035 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE).
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7092.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURES HAVE BEEN TAKEN:
 - THE COUNTY CORNERMAN HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF THE PERSON RESPONSIBLE AND AVAILABLE AT THE SITE AT ALL TIMES.
- SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.86 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.
(F) AN OAK TREE PERMIT IS OBTAINED (AND THE FOLLOWING NOTE):
ALL GRADING AND CONSTRUCTION WITHIN THE PROTECTED ZONE OF ALL OAK TREES SHALL BE PER OAK TREE PERMIT NO. _____ ALL RECOMMENDATIONS IN THE PERMIT AND ASSOCIATED OAK TREE REPORT MUST BE COMPLIED WITH AND ARE A PART OF THE GRADING PLAN. A COPY OF THE OAK TREE PERMIT AND ASSOCIATED REPORTS SHALL BE MAINTAINED IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS.
NOTE: THIS NOTE ONLY APPLIES TO STANDARD RETAINING WALLS. GEOTGRID FABRIC AND SEGMENTAL RETAINING WALLS DO NOT REQUIRE A SEPARATE RETAINING WALL PERMIT. DETAILS AND CONSTRUCTION NOTES FOR ALL GEOTGRID WALLS MUST BE ON THE GRADING PLAN.
- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- WHERE A GRADING PERMIT IS ISSUED AND THE BUILDING OFFICIAL DETERMINES THAT THE GRADING WILL NOT BE COMPLETED PRIOR TO NOVEMBER 1, THE OWNER OF THE SITE ON WHICH THE GRADING IS BEING PERFORMED SHALL, ON OR BEFORE OCTOBER 1, FILE OR CAUSE TO BE FILED WITH THE BUILDING OFFICIAL AN ESDP PER SECTION J110.8.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- TRANSFER OF RESPONSIBILITY: IF THE FIELD ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

INSPECTION NOTES

- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK (SECTION J108.7 OF THE BUILDING CODE):
 - PRE-GRADE - BEFORE THE START OF ANY EARTH-DISTURBING ACTIVITY OR CONSTRUCTION.
 - INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BLENDED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
 - ROUGH - WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE, AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
 - FINAL - WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED; IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.
- IN ADDITION TO THE INSPECTION REQUIRED BY THE BUILDING OFFICIAL FOR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN

ACCORDANCE WITH SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

- UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL, THE FIELD ENGINEER FOR ALL ENGINEERING GRADING PROJECTS SHALL PREPARE ROUTINE INSPECTION REPORTS AS REQUIRED UNDER SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE. THESE REPORTS, KNOWN AS "REPORT OF GRADING ACTIVITIES", SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS FOLLOWS:
 - BI-WEEKLY DURING ALL TIMES WHEN GRADING OF 400 CUBIC YARDS OR MORE PER WEEK IS OCCURRING ON THE SITE.
 - MONTHLY AT ALL OTHER TIMES; AND
 - AT ANY TIME WHEN REQUESTED IN WRITING BY THE BUILDING OFFICIAL.SUCH "REPORT OF GRADING ACTIVITIES" SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE FIELD ENGINEER HAS INSPECTED THE GRADING SITE AND RELATED ACTIVITIES AND HAS FOUND THEM IN COMPLIANCE WITH THE APPROVED GRADING PLANS AND SPECIFICATIONS, THE BUILDING CODE, ALL GRADING PERMIT CONDITIONS, AND ALL OTHER APPLICABLE ORDINANCES AND REQUIREMENTS. THIS FORM IS AVAILABLE AT THE FOLLOWING WEBSITE: [HTTP://DPW.LACOUNTY.GOV/ISD/DOCS/DEFAULT.ASPX](http://dpw.lacounty.gov/ISD/DOCS/DEFAULT.ASPX). "REPORT OF GRADING ACTIVITIES" MAY BE SCANNED AND UPLOADED AT THE WEBSITE OR FAXED TO (916) 300-5482. FAILURE TO PROVIDE REQUIRED INSPECTION REPORTS WILL RESULT IN A "STOP WORK ORDER."
- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING. APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION J109 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

DRAINAGE NOTES

- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
INFORMATION MUST BE SHOWN ON AS-BUILT GRADING PLAN:
 - PER PRIVATE DRAIN PD NO. _____ OR MISCELLANEOUS TRANSFER DRAIN MTD NO. _____
- ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. STATUS REPORTS REQUIRED UNDER NOTE 18 AND SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE SHALL INCLUDE INSPECTION INFORMATION AND REPORTS ON THE STORM DRAIN INSTALLATION.

AGENCY NOTES

- AN ENCROACHMENT PERMIT FROM (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS) (CALTRANS) (CITY OF) IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS) (CALTRANS) (CITY OF) ENCROACHMENT PERMIT.
 - AN ENCROACHMENT PERMIT / CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGHT OF WAY. ALL WORK SHALL CONFORM TO CONDITIONS SET BY THE DISTRICT.
 - PERMISSION TO OPERATE IN VERY HIGH FIRE HAZARD SEVERITY ZONE MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENSING WORK.
 - ALL WORK WITHIN THE STREAMBED AND AREAS OUTLINED ON GRADING PLANS SHALL CONFORM TO:
 - *ARMY CORP 404 PERMIT NUMBER: _____
- CALIFORNIA FISH & WILDLIFE PERMIT NO. _____
 - ALL CONSTRUCTION/DEMOLITION, GRADING, AND STORAGE OF BULK MATERIALS MUST COMPLY WITH THE LOCAL AQMD RULE 403 FOR FUGITIVE DUST. INFORMATION ON RULE 403 IS AVAILABLE AT AQMD'S WEBSITE [HTTP://WWW.AQMD.COM](http://WWW.AQMD.COM).
- GENERAL GEOTECHNICAL NOTES
- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
 - GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION, 900 S. FREMONT, ALHAMBRA CA 91803 - 3RD FLOOR.
 - THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
 - ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS (SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
 - FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE.
 - BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING.

FILL NOTES

- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
 - 80 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
 - 88 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 80 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.
- THE RELATIVE COMPACTION SHALL BE DETERMINED BY A S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE. WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- 88 PERCENT OF MAXIMUM DRY DENSITY IS REQUIRED FOR ALL FIRE LANES UNLESS OTHERWISE APPROVED BY THE FIRE DEPARTMENT.
- FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
- SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
 - ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
 - ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
 - ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
- SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER

INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:

- PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
 - SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
 - FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.
- FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-97 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
 - ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL, UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN AS-BUILT GRADING PLAN.
 - CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION J107.6 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
 - CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION J107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
 - ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN AS-BUILT GRADING PLAN.
 - FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE).

PLANTING AND IRRIGATION NOTES:

- PLANTING AND IRRIGATION ON GRADED SLOPES MUST COMPLY WITH THE FOLLOWING MINIMUM GUIDELINES:
 - THE SURFACE OF ALL CUT SLOPES MORE THAN 6 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS. SLOPES EXCEEDING 16 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 19 FEET ON CENTERS; OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES AT EQUIVALENT SPACING. IN ADDITION TO THE GRASS OR GROUNDCOVER PLANTS, THE PLANTS SELECTED AND PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS OF THE SITE. PLANT MATERIAL SHALL BE SELECTED WHICH WILL PROVIDE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATION SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIALS NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATIO, WIND SUSCEPTIBILITY AND FIRE-RETARDANT CHARACTERISTICS. ALL PLANT MATERIALS MUST BE APPROVED BY THE BUILDING OFFICIAL. (SECTION J110.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- NOTE: PLANTING MAY BE MODIFIED FOR THE SITE IF SPECIFIC RECOMMENDATIONS ARE PROVIDED BY BOTH THE SOILS ENGINEER AND A LANDSCAPE ARCHITECT. SPECIFIC RECOMMENDATIONS MUST CONSIDER SOILS AND CLIMATIC CONDITIONS, IRRIGATION REQUIREMENTS, PLANTING METHODS, FIRE RETARDANT CHARACTERISTICS, WATERING AND MAINTENANCE NEEDS, AND OTHER REGULATORY REQUIREMENTS. RECOMMENDATIONS MUST INCLUDE A FINDING THAT THE ALTERNATIVE PLANTING WILL PROVIDE A PERMANENT AND EFFECTIVE METHOD OF EROSION CONTROL. MODIFICATIONS TO PLANTING MUST BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
- SLOPES REQUIRED TO BE PLANTED BY SECTION J110.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL, TEST OF THE SYSTEM MAY BE REQUIRED. FOR SLOPES LESS THAN 20 FEET IN VERTICAL HEIGHT, HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION J110.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE PLANTING AND IRRIGATION SYSTEMS SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER ROUGH GRADING, PRIOR TO FINAL GRADING. APPROVAL ALL REQUIRED SLOPE PLANTING MUST BE WELL ESTABLISHED. (SECTION J110.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED AND MAINTAINED TO PREVENT SPRAY ON STRUCTURES. (TITLE 23, SECTION 5.407.2.1)

BEST MANAGEMENT PRACTICE NOTES:

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

- ANY SLOPES WITH DISTURBED SOILS OR DENIED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WIND.
- I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ENSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE ESDP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE ESDP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY LAW."

PRINT NAME

(OWNER OR AUTHORIZED AGENT OF THE OWNER)

SIGNATURE

(OWNER OR AUTHORIZED AGENT OF THE OWNER)

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE LATEST EDITION OF THE CASQA CONSTRUCTION BMP ONLINE HANDBOOK OR CALTRANS STORMWATER QUALITY HANDBOOKS (CONSTRUCTION SITE BMP MANUAL) MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR THE BUILDING OFFICIAL.

EROSION CONTROL

- EC1 - SCHEDULING
- EC2 - PRESERVATION OF EXISTING VEGETATION
- EC3 - HYDRAULIC MULCH
- EC4 - HYDROSEEDING
- EC5 - SOIL BINDERS
- EC6 - STRAW MULCH
- EC7 - GEOTEXTILES & MATS
- EC8 - WOOD MULCHING
- EC9 - EARTH Dikes AND DRAINAGE SWALES
- EC10 - VELOCITY DISSIPATION DEVICES
- EC11 - SLOPE DRAINS
- EC12 - STREAMBANK STABILIZATION
- EC13 - RESERVED
- EC14 - COMPOST BLANKETS
- EC15 - SOIL PREPARATION/ROUGHENING
- EC16 - NON-VEGETATED STABILIZATION

TEMPORARY SEDIMENT CONTROL

- SE1 - SILT FENCE
- SE2 - SEDIMENT BASIN
- SE3 - SEDIMENT TRAP
- SE4 - CHECK DAM
- SE5 - FIBER LOGS
- SE6 - GRAVEL BAG BERM
- SE7 - STREET SWEEPING AND VACUUMING
- SE8 - SANDBAG BARRIER
- SE9 - STRAW BALE BARRIER
- SE10 - STORM DRAIN INLET PROTECTION
- SE11 - ACTIVE TREATMENT SYSTEMS
- SE12 - TEMPORARY SILT DIKE
- SE13 - COMPOST SOCKS & BERMS
- SE14 - BIOFILTER BAGS

WIND EROSION CONTROL

- WE1 - WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

- TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2 - STABILIZED CONSTRUCTION ROADWAY
- TC3 - ENTRANCE/OUTLET TIRE WASH

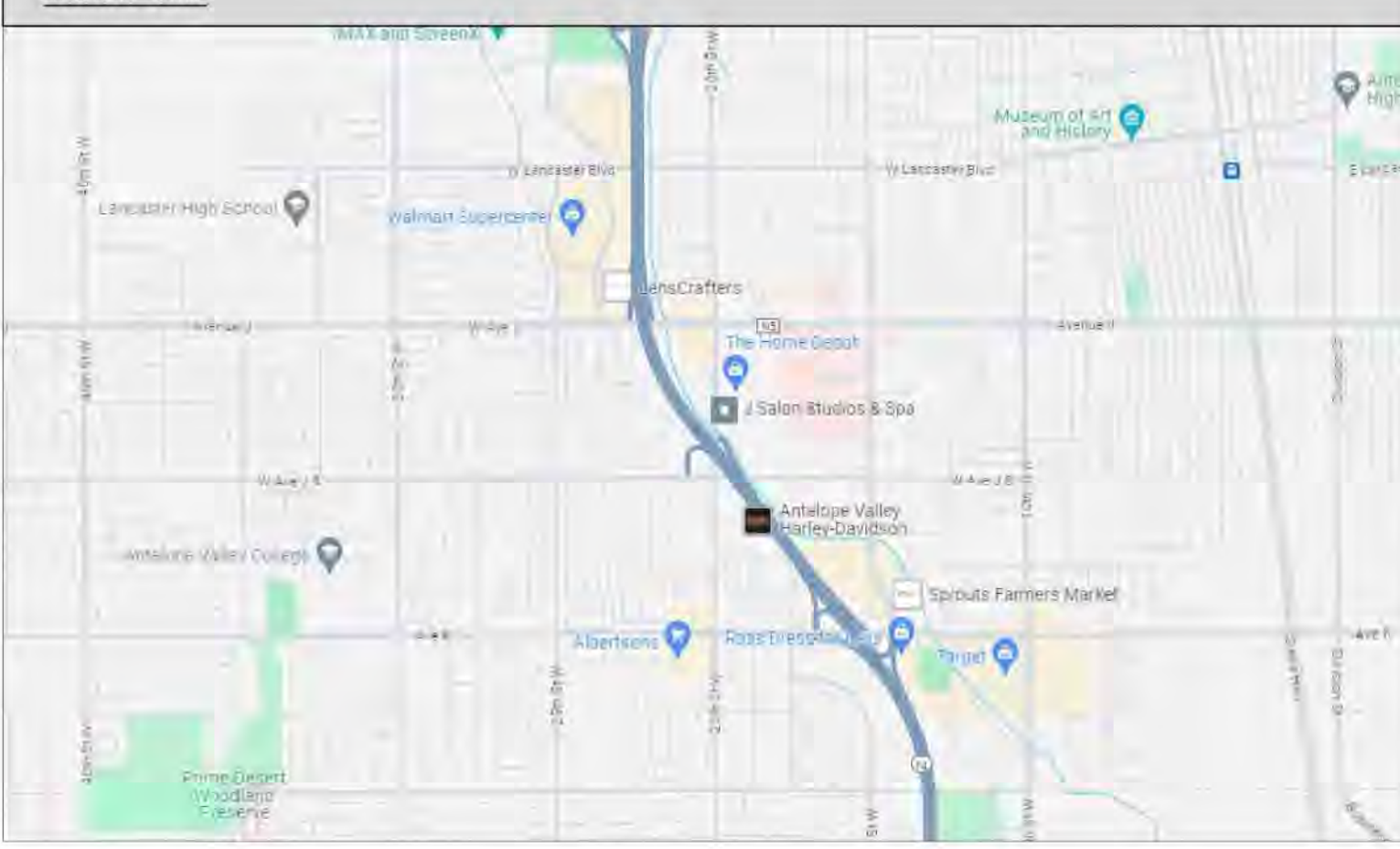
NON-STORMWATER MANAGEMENT

- NS1 - WATER CONSERVATION PRACTICES
- NS2 - DEWATERING OPERATIONS
- NS3 - PAVING AND GRINDING OPERATIONS
- NS4 - TEMPORARY STREAM CROSSING
- NS6 - CLEAR WATER DIVERSION
- NS6 - ILLUCIT CONNECTION/DISCHARGE
- NS7 - POTABLE WATER/IRRIGATION
- NS8 - VEHICLE AND EQUIPMENT CLEANING
- NS8 - VEHICLE AND EQUIPMENT FUELING
- NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 - FLEET DRIVING OPERATIONS
- NS12 - CONCRETE CURING
- NS13 - CONCRETE FINISHING
- NS14 - MATERIAL AND EQUIPMENT USE
- NS16 - DEMOLITION ADJACENT TO WATER
- NS16 - TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1 - MATERIAL DELIVERY AND STORAGE
- WM2 - MATERIAL USE
- WM3 - STOCKPILE MANAGEMENT
- WM4 - SPILL PREVENTION AND CONTROL
- WM5 - SOLID WASTE MANAGEMENT
- WM6 - HAZARDOUS WASTE MANAGEMENT
- WM7 - CONTAMINATION SOIL MANAGEMENT
- WM8 - CONCRETE WASTE MANAGEMENT
- WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 - LIQUID WASTE MANAGEMENT

VICINITY MAP



DATE: 09/17/2024
JOB NO: MLB24-383



DESIGNED BY: AA
CHECKED BY: GB

APN:3123-005-042
LANCASTER, CA
93535

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX



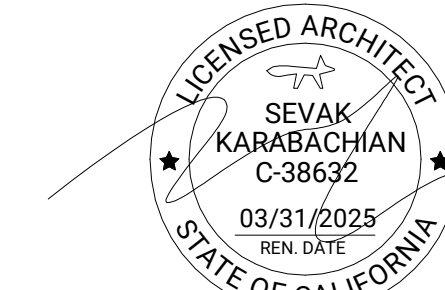
7918 FOOTHILL BLVD.
SUNLAND, CA 91040
(818) 521-6342
INFO@MLBENGINEERING.ORG

LEGEND

TW XXX.XX	→	PROPOSED ELEVATION
TW (XXX.XX)	→	EXISTING ELEVATION
890.45		EXISTING ELEVATION FROM SURVEY
100		PROPOSED CONTOUR
-----		REMOVE & RECOMPACT (R&R)
=====		PROPOSED RETAINING WALL
=====		EXISTING RETAINING WALL
-----		GRAVITY 4" PVC SCH 40 PIPE MIN 2% ARROW SHOWS DIRECTION OF FLOW
-----		PRESSURE DISCHARGE 2" PVC SCH 40 PIPE
-----		SUBDRAIN 4" PERFORATED PIPE WRAPPED IN NON WOVEN GEO FABRIC

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
GRADING PLAN

GRADING PLAN

C-1.0

GRADING SITE PLAN
Scale: 1"=25'

DATE: 09/17/2024
JOB NO: MLB24-383



DESIGNED BY: AA
CHECKED BY: GB

APN:3123-005-042
LANCASTER, CA
93535

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007

SCALE

DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER

C-1.0





KARABACHIAN
ARCHITECTS, INC.

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HYDROLOGY

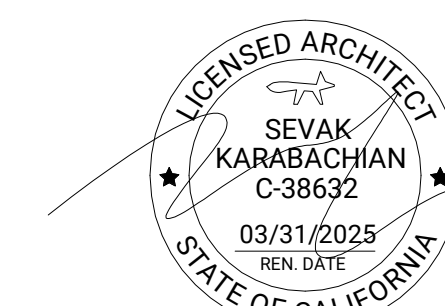
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NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:

3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:

GRADING VOLUME



7918 FOOTHILL BLVD.
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DESIGNED BY: AA
CHECKED BY: GB

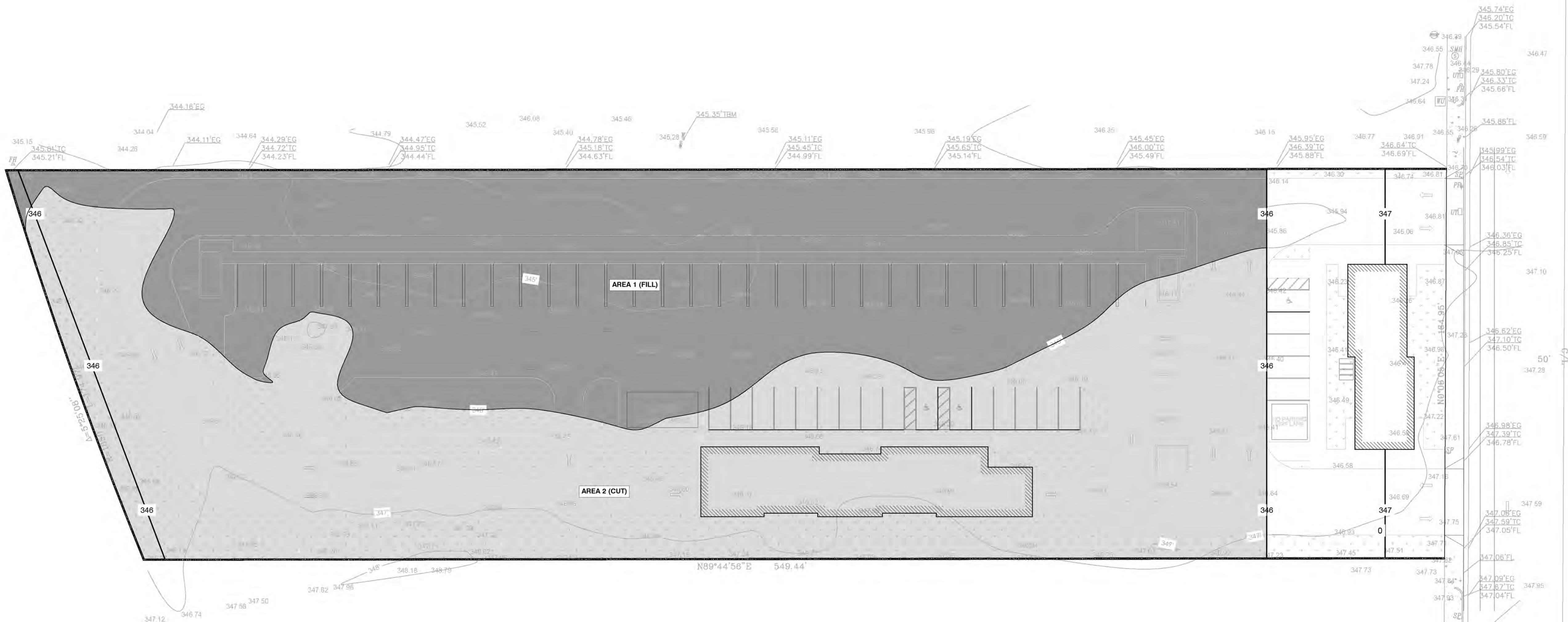
APN:3123-005-042
LANCASTER, CA
93535

GRADING VOLUME
CALCULATIONS

C-2.0

Grading Volume Breakdown		
Description	Volumes (cy)	Note
Cut	-810	-
Swell	-81	10% Swell Accounted
Total Cut	-891	-
Fill	718	-
Shrinkage	80	10% Shrinkage Accounted
Total Fill	798	-
Net Total	-93	Export
Total Grading Volume	1689	-

GRADING VOLUME CALCULATIONS					
Location	Area (sf)	Avg. Height (ft)	Volume (cy)	Cut/Fill	
Area 1	Site Fill	38786	0.5	718	Fill
Area 2	Site Cut	43727	-0.5	-810	Cut



A GRADING VOLUME CALCULATION
Scale: 1"=25'

4" x 5.5" BOUNDARY RESERVED FOR AHJ APPROVAL STAMP

PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

DRAWN BY:

DATE:

11/15/2024

SHEET NUMBER:

C-2.0





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


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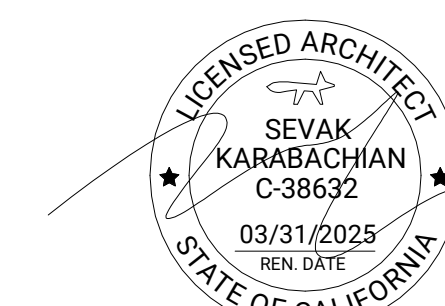
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LEGEND	
TW XXX'XX" →	PROPOSED ELEVATION
TW (XXX'XX) →	EXISTING ELEVATION
 →	EXISTING ELEVATION FROM SURVEY
— 100 —	PROPOSED CONTOUR
-----	REMOVE & RECOMPACT (R&R)
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	GRAVITY 4" PVC SCH 40 PIPE MIN 2% ARROW SHOWS DIRECTION OF FLOW.
	PRESSURE DISCHARGE 2" PVC SCH 40 PIPE
	SUBDRAIN: 4" PERFORATED PIPE WRAPPED IN NON WOVEN GEO FABRIC

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

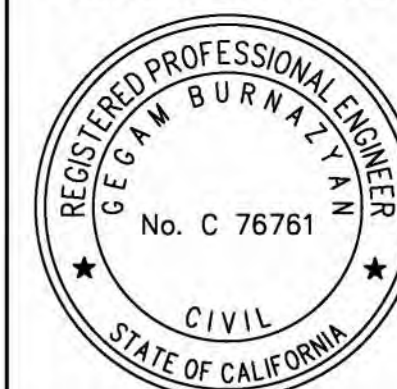
NEW CARWASH

TITLE:
DRAINAGE PLAN

REV	DATE	DESCRIPTION	BY
1	-	-	-
2			
3			
4			
5			

DATE: 09/17/2024
JOB NO: MLB24-383

DATE: 09/17/2024
JOB NO: MLB24-383

DESIGNED BY: AA
CHECKED BY: GB

APN:3123-005-04
LANCASTER, CA
93535

DRAINAGE PLAN

C-3.0

 **DRAINAGE SITE PLAN**
Scale: 1"=2'

Scale: 1"=2'

4" x 5.5" BOUNDARY RESERVED FOR AHI APPROVAL STAMP

PERMIT #: XXXXXXXXXX

PLANNING #: XXXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:
2024-007

SCALE:

DRAWN BY:

DATE: 11/15/2024

SHEET NUMBER

C-3.0

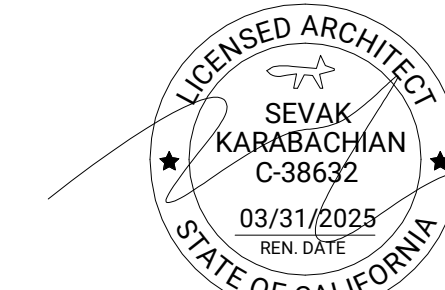




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NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

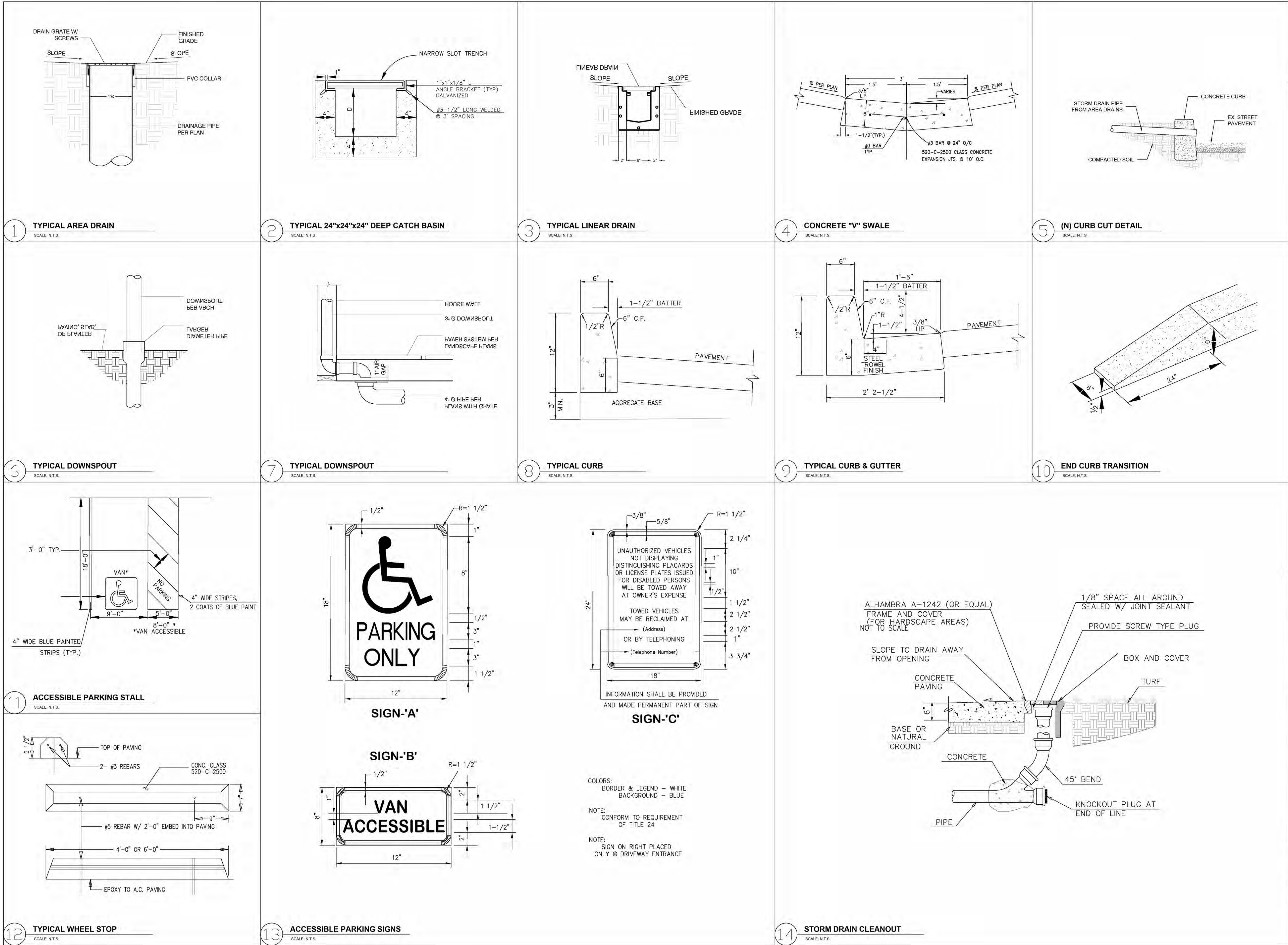
TITLE:
DRAINAGE DETAILS

DRAINAGE DETAILS

C-3.1



DESIGNED BY: AA
CHECKED BY: GB
APN-3123-005-042
LANCASTER, CA
93535



PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"

PROJECT:

2024-007

SCALE:

DRAWN BY:

DATE:

11/15/2024

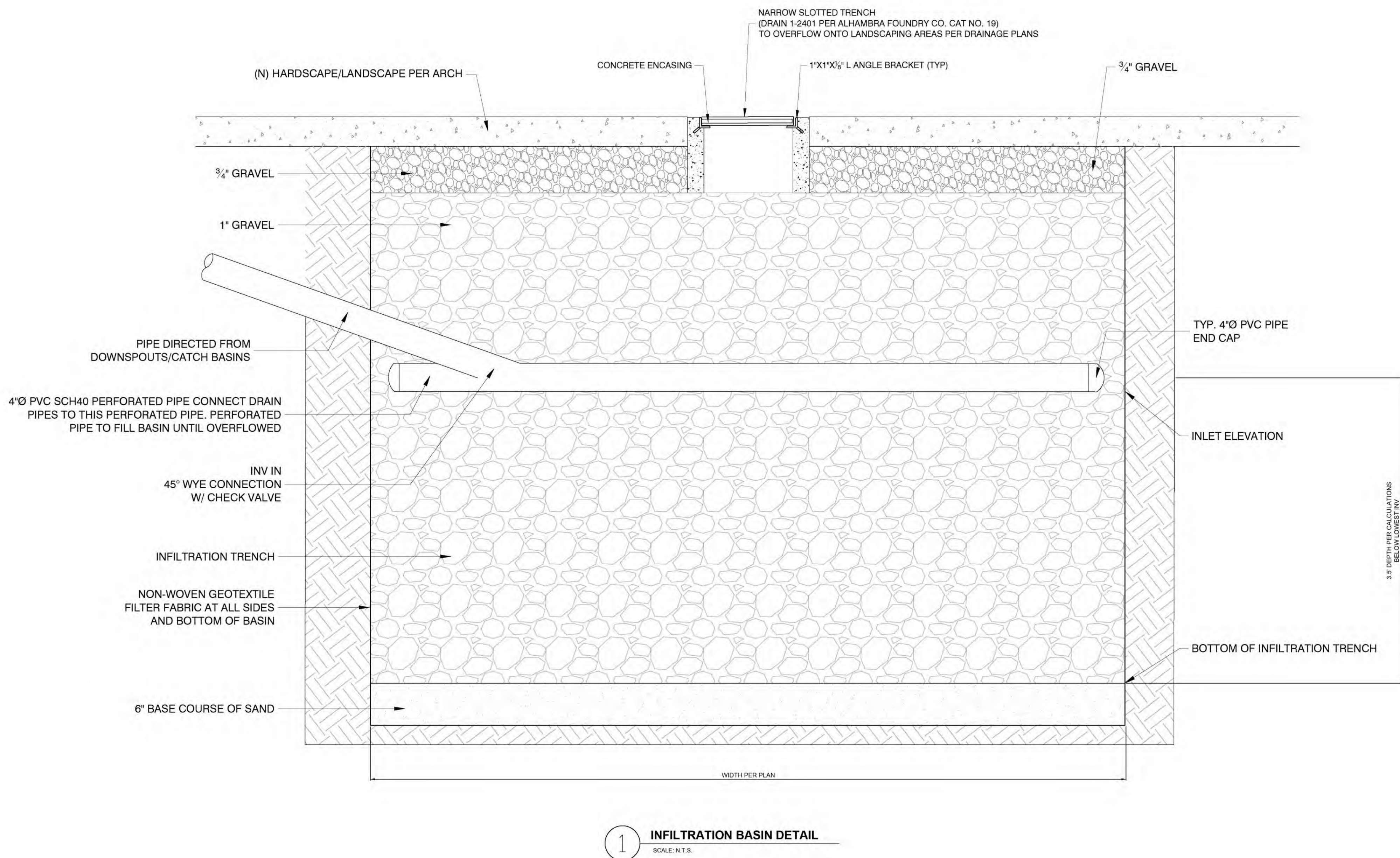
SHEET NUMBER

C-3.1





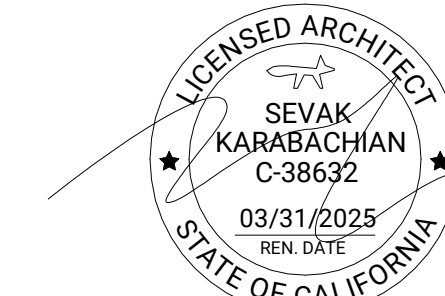
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1 INFILTRATION BASIN DETAIL
SCALE: N.T.S.

NOT FOR CONSTRUCTION

NO.	ISSUE	DATE



PROJECT ADDRESS:
3123-005-042LANCASTER
LANCASTER, CALIFORNIA 93534

NEW CARWASH

TITLE:
DRAINAGE DETAILS

DRAINAGE DETAILS

C-3.2

REV	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

DATE: 09/17/2024
JOB NO: MLB24-383

DESIGNED BY: AA
CHECKED BY: GB

APN:3123-005-042
LANCASTER, CA
93535



PERMIT #: XXXXXXXXX

PLANNING #: XXXXXXXXX

ORIGINAL SHEET SIZE: 36" x 48"
PROJECT:
2024-007
SCALE
DRAWN BY:
DATE:
11/15/2024
SHEET NUMBER

C-3.2

