



AGENDA ITEM: 2.

DATE: 12/12/22

## STAFF REPORT

### TENTATIVE TRACT MAP NO. 53642 CONDITIONAL USE PERMIT NO. 22-08

#### PC ACTION:

APPROVED (4-0-0-0-3)

ABSENT: Moore, Tufts,  
Underwood

**DATE:** December 12, 2022

**TO:** Lancaster Planning Commission

**FROM:** Jocelyn Swain, Senior Planner  
Community Development Division, Development Services Department

**APPLICANT:** Pacific Communities Builders, Inc. / Nelson Chung

**LOCATION:** ±40 acres at the southeast corner of 60<sup>th</sup> Street West and Avenue K-4  
(Assessor Parcel Numbers: 3204-009-026, 3204-009-079, 3204-009-081)

**REQUEST:** A Tentative Tract Map and Conditional Use Permit to subdivide the subject property into 208 single family residential lots and allow for the construction of an age-restricted residential planned development in the R-7,000 (single family residential, minimum lot size 7,000 square feet) zone

**RECOMMENDATION:** Adopt Resolution No. 22-33 approving Tentative Tract Map No. 53642 and Conditional Use Permit No. 22-08 for the subdivision of the subject property into 208 single family residential lots and the construction of an age-restricted residential planned development in the R-7,000 zone located at the southeast corner of 60<sup>th</sup> Street West and Avenue K-4 (APNs: 3204-009-026, 3204-009-079, 3204-009-081) and adopting a Mitigated Negative Declaration

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## BACKGROUND

Tentative Tract Map No. 53642 was approved by the Planning Commission on April 19, 2004 and has since expired. No other hearings before Planning Commission or City Council have occurred on the project site.

## **GENERAL INFORMATION**

**Table 1 summarizes the general information concerning this project.**

**Table 1: General Information**

<b>ITEM</b>	<b>DESCRIPTION</b>
<b>APN-</b>	3204-009-026, 3204-009-079, 3204-009-081
<b>LOCATION</b>	±40 acres at the southeast corner of 60 <sup>th</sup> Street West and Avenue K-4
<b>ZONING AND LAND USE</b>	The subject property is zoned R-7,000 (single family residential, minimum lot size 7,000 square feet) and is currently vacant.
<b>SURROUNDING LAND USES AND ZONING</b>	North: Residential subdivision; R-7,000 South: Avenue K-8 followed by vacant land and a residential subdivision; R-7,000 East: Vacant; R-7,000 West: 60 <sup>th</sup> Street West followed by residential subdivision; R-7,000
<b>CURRENT DEVELOPMENT</b>	The project site is currently vacant.
<b>ENVIRONMENTAL REVIEW</b>	An initial study (SCH #2022100369) was prepared for the proposed project and circulated for a 30-day public review period in accordance with the California Environmental Quality Act (CEQA). The public review period started on October 18, 2022 and ended on November 17, 2022.  Effective January 1, 1991, applicants whose projects have the potential to result in the loss of fish, wildlife or habitat through urbanization and/or land use conversion are required to pay filing fees as set forth under Section 711.4 of the Fish and Game Code. Pursuant to Section 21089(b) of the Public Resources Code, the approval of a project is not valid, and no development right is vested, until such fees are paid.

**PROJECT DESCRIPTION:**

The proposed project consists of a tentative tract map for the subdivision of approximately 40 acres into 208 single family residential lots and lots for common open space and drainage basins. It also includes a conditional use permit to create an age-restricted residential planned development on smaller lots.

All of the residential lots within the subdivision would be a minimum of 4,250 square feet and a maximum of 8,531 square feet. The residential planned development allows for smaller lot sizes and variations from the R-7,000 development standards in exchange for a minimum of 15% common open space and enhanced design features. The proposed development standards for the subdivision area listed below.

**Proposed Development Standards**

<b>Site Specification</b>	<b>Proposed Standard</b>
Lot Size	4,250 sf
Minimum Lot Width	45'
Minimum Lot Depth	90'
Maximum Lot Coverage	50%
Side Yard Setback	4'

The proposed development would provide approximately 5.86 acres (approximately 16.33%) of common open space. The open space would be located in the center of the site and includes park areas/community gardens, walking trails, recreational area (including swimming pool) and a community building. Additionally, there is a park and drainage basin located at the northwest corner of the project site. These areas would provide recreational opportunities for residents residing within the community.

The proposed development would be gated with access from Avenue K-8. All roadways within the subdivision will be private. This community would be age-restricted with most residents 55 years old and older. All of the residences would be single-story and average approximately 1,600 square feet in size. The houses would be 2-bedroom with the ability for an optional 3<sup>rd</sup> bedroom.

**ANALYSIS:**

**General Plan Consistency**

The proposed project was analyzed for consistency with the City of Lancaster General Plan 2030. The proposed facility would be consistent with the General Plan land use designation of Urban Residential (UR) and the types of uses envisioned therein. The UR land use designation envisions a variety of residential uses with “density ranges 2.1 to 6.5 dwellings per acre” (General Plan Objective 17.1). The proposed use is consistent with the goals, objectives, and policies of the General Plan as indicated below.

- Policy 3.1.1:** Ensure that development does not adversely affect the groundwater basin.
- Policy 3.1.3:** Encourage the use of recycled tertiary treated wastewater when possible.
- Policy 3.2.1:** Promote the use of water conservation measures in the landscape plans of new developments.
- Policy 3.2.2:** Consider the potential impact of new development projects on the existing water supply.
- Policy 3.2.5:** Promote the use of water conservation measures in the design of new developments.
- Policy 3.3.1:** Minimize the amount of vehicular miles traveled.
- Policy 3.4.4:** Ensure that development proposals, including City sponsored projects, are analyzed for short- and long-term impacts to biological resources and that appropriate mitigation measures are implemented.
- Policy 3.5.1:** Minimize erosion problems resulting from development activities.
- Policy 3.6.1:** Reduce energy consumption by establishing land use patterns which would decrease automobile travel and increase the use of energy efficient modes of transportation.
- Policy 4.3.3:** Ensure that the provision of noise attenuation does not create significant negative visual impacts.
- Policy 15.1.2:** Cooperate with local water agencies to provide an adequate water supply system to meet the standards for domestic and emergency needs.
- Policy 15.1.5:** Ensure sufficient infrastructure is built and maintained to handle and treat wastewater discharge.
- Policy 16.3.1** Promote development patterns which will minimize the costs of infrastructure development, public facilities development and municipal service cost delivery.
- Policy 16.6.1:** Require new development to construct and/or pay for new on-site capital improvements necessitated by their project, consistent with performance criteria identified in Objective 15.1.



**Goal 17:** To establish a variety of land uses, which serve to develop Lancaster into a balanced and complete community in which people live, work, shop and play.

**Policy 18.1.4:** Encourage the long-term maintenance of new residential development.

**Policy 18.2.2:** Encourage appropriate development to locate so that municipal services can be efficiently provided.

The proposed project would not conflict with any of the policies of the General Plan. The proposed development would result in the subdivision of 40 acres which are designated for residential uses and develop an age-restricted residential community. This would provide another housing choice for residents in the community.

### **Housing Element Consistency**

The proposed project supports the goals and objectives of the City of Lancaster's Housing Element. Specifically, the Housing Element identifies objectives and policies to provide a variety of housing types to the residents of the City. The proposed project would provide a gated community with single-family residences on smaller lots. This community would be age-restricted with most of the residents 55 years and older. This provides an additional housing choice in the community which is not currently available.

### **Compliance with the Lancaster Municipal Code (LMC)**

The proposed project complies with the development standards for residential uses in the R-7,000 zone as identified in Sections 17.08.060, 17.08.070 and 17.08.340 of the Lancaster Municipal Code with the approval of the conditional use permit.

### **Compliance with the City of Lancaster Design Guidelines**

The proposed project complies with the intent of the Design Guidelines with respect to site design and layout for residential developments. Pedestrian connectivity is provided within the project site and along the project frontage. The elevations and floor plans for the proposed development would be reviewed and approved for compliance with the Design Guidelines prior to the issuance of construction permits. This would ensure quality design with 360-degree architecture which enhances the community's image and quality of life.

### **TENTATIVE TRACT MAP FINDINGS**

In order to grant a tentative tract map, Section 16.08.110 of the Lancaster Municipal Code states that the Planning Commission must make all of the following findings:

- a. The proposed subdivision is consistent with the general plan, any applicable specific plan, and is compatible with the general plan land uses, goals, objectives, policies, and**

**specific actions specified in such plan.**

The proposed project is a residential subdivision consistent with the general plan land use designation of Urban Residential (UR) and with the policies, goals, objectives, and specific actions of the General Plan. The proposed project is not located within the boundaries of a Specific Plan.

**b. The design and improvement of the proposed subdivision is consistent with the general plan, any applicable specific plan, Title 17, and this title.**

The design and improvements of the proposed subdivision are consistent with the General Plan and use designation of UR and the development standards identified in Sections 17.08.060, 17.08.070, and 17.08.340 of the LMC. The project site is not located within the boundaries of a specific plan.

**c. The site is physically suitable for the type and density of the development proposed.**

The project site is physically suitable for the type and density of the proposed development. Adequate roadway capacity and infrastructure exists in the vicinity of the project or can be provided to support the development.

**d. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. An initial study was prepared for the proposed development to assess potential impacts to 21 resource areas including biological resources. No sensitive status plant or animal species were identified during the surveys and mitigation measures have been provided to ensure that any potential impacts remain less than significant. Mitigation measures have also been provided for other resource areas such as air quality, cultural resources, geology and soil, hazards, and noise. Additionally, the developer would be required to pay the City's Biological Impact Fee, which is utilized to help conserve biological resources found throughout the Antelope Valley.

**e. The design of the subdivision or the type of improvements will not cause serious public health problems.**

The design of the subdivision and the associated improvements are not likely to cause serious public health problems as adequate sewer and water systems will be provided to the proposed development. Additionally, all residences within the subdivision are required to have trash collection services in accordance with the City of Lancaster's Waste Management franchise agreement.

- f. The design or the types of improvements of the subdivision will not conflict with easements acquired by the public at large, for access through, or use of, property within the subdivision. The city may approve the map if alternate easements will be provided in accordance with Section 66474(g) of the Subdivision Map Act.**

There are no known public easements or access across the subject property; therefore, the design of the subdivision will not conflict with public access. Any utility can be accommodated within the design of the proposed project.

- g. The City's action will not have an adverse effect on the housing needs of the region and the city has balanced these needs against the public service needs of its residents and available fiscal and environmental resources, in accordance with Section 66412.3 of the Subdivision Map Act.**

The proposed project would have a beneficial effect on the housing needs of the region because an additional 208 dwelling units could be provided. The proposed project would not adversely affect the economic health of the City as the infrastructure to support the proposed project, such as roadways and utility lines, currently existing in the vicinity of the project site and the maintenance of this infrastructure is already occurring. Additionally, all roadways, sewer, and water lines within the subdivision would be private and maintained by the Homeowners/Property Owner's Association.

- h. The design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.**

The proposed project is not expected to have any significant impact on any future passive or natural heating or cooling opportunities. The proposed project has been designed to take advantage of heating and cooling opportunities to the extent feasible. Additionally, the proposed project is required to comply with Title 24, which includes requirements for solar energy.

### **CONDITIONAL USE PERMIT FINDINGS**

In order to grant a CUP, Section 17.32.090 of the Lancaster Municipal Code states that the Planning Commission must make all of the following findings:

- a. That the proposed use will not be in substantial conflict with the adopted general plan for the area.**

The CUP for the proposed project would be in conformance with the General Plan Land Use Designation of Urban Residential (UR). In addition, the proposed project would be consistent with the goals, objectives, policies, and specific actions identified within the General Plan.

**b. That the requested use at the location proposed will not:**

**1. Adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area.**

The proposed project is for a residential subdivision on smaller lots. The entire development would be gated and improvements would be installed to ensure that adequate infrastructure exists to serve the development. While the lots would be smaller than other R-7,000 developments in the area; however, the use (residential) would be the same. As such, the proposed project would not affect the health, peace, comfort or welfare of persons residing or working in the surrounding area.

**2. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site.**

The proposed residential development would be located a residential zoned area with other residential developments in the immediate area. The proposed development would be consistent with the zone and the surrounding properties and would not be materially detrimental to the use, enjoyment or valuation of other property.

**3. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.**

The proposed residential development would not jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare of the public or surrounding community.

**c. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding area.**

The proposed development is of adequate size and shape to meet all of the required development standards of the R-7,000 zone with the adoption of the conditional use permit. The residential development would have adequate landscaping, parking, open space and other development features to integrate with the surrounding residential uses developments.

**d. The proposed site is adequately served:**

**1. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate.**

The project site would be gated and accessed from a driveway on Avenue K-8. All roadways adjacent to the project site (60<sup>th</sup> Street West, Avenue K-4, and Avenue K-8)

would be improved to handle the amount and type of traffic that will be accessing the project site.

**2. By other public or private service facilities as are required.**

The proposed site location has adequate sewer, water, fire, and police services to serve the site or those services can be obtained.

**RESIDENTIAL PLANNED DEVELOPMENT FINDINGS**

In order to approve a residential planned development, the findings in Section 17.08.340 must be made:

- a. The residential planned development meets the goals of the city general plan, pertaining to community design, and the objectives to “enhance overall community form, create a vibrant sense of place,” and to “improve the city’s visual identify by utilizing design standards that install a sense of pride and well-being in the community.**

The proposed development would be consistent with City’s General Plan and the Lancaster Municipal Code. The proposed development would provide additional housing type which does not currently exist within the City. The proposed project would be an age-restricted development which would provide open space and recreational amenities within the community. The overall development and the residences would be consistent with the City’s Design Guidelines and would provide a sense of place.

- b. The residential planned development adheres to the adopted city design guidelines and the design and performance standards listed in this section, and is consistent with the mission statement of “implementing quality design for timeless architecture that enhances the community’s image, pride and quality of life.”**

The proposed development would be consistent with the General Plan, Lancaster Municipal Code and the City’s Design Guidelines. The architecture and floor plans for the residences and the recreational facilities would be reviewed and approved prior to the issuance of building permits.

- c. The residential planned development is comprehensive, covers a logical planning area, and provides the opportunity for unique and creative designs that are not possible under the city’s typical development regulations.**

The proposed development is comprehensive and covers an approximately 40-acre area. This size of development allows an additional variety of housing to be provided within the City that does not currently exist (age-restricted development.)

### **LEGAL NOTICE**

A notice of Public Hearing was mailed to all property owners within a 500-foot radius of the project, posted in three places, posted on the subject property, and noticed in Antelope Valley Press on December 2, 2022.

### **RECOMMENDATION**

Adopt Resolution No. 22-33 approving Tentative Tract Map No. 53642/Conditional Use Permit No. 22-08 to allow for the subdivision of approximately 40 acres into 208 residential lots and the construction of an age-restricted residential planned development at the southeast corner of 60<sup>th</sup> Street West and Avenue K-4 in the R-7,000 zone (APNs: 3204-009-026, 3204-009-079, 3204-009-081) and adopt the Mitigated Negative Declaration.

#### **Attachments:**

- A. Resolution No. 22-33
- B. Site Plans/Elevations
- C. Initial Study

## **RESOLUTION NO. 22-33**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LANCASTER, CALIFORNIA, APPROVING TENTATIVE TRACT MAP NO. 53642/CONDITIONAL USE PERMIT NO. 22-08 FOR THE SUBDIVISION OF APPROXIMATELY 40 ACRES INTO 208 RESIDENTIAL LOTS AND THE CONSTRUCTION OF AN AGE-RESTRICTED RESIDENTIAL PLANNED DEVELOPMENT AT THE SOUTHEAST CORNER OF 60<sup>TH</sup> STREET WEST AND AVENUE K-4 IN THE R-7,000 ZONE (APNS: 3204-009-026, 3204-009-079, 3204-009-081)

WHEREAS, a Tentative Tract Map has been requested by Pacific Communities Builder, Inc. (“Applicant”) to allow for the subdivision of approximately 40 acres into 208 single-family residential lots at the southeast corner of 60<sup>th</sup> Street West and Avenue K-4 (APNs: 3204-009-026, 3204-009-079, 3204-009-081) in the R-7,000 (single family residential, minimum lot size 7,000 square feet); and

WHEREAS, a Conditional Use Permit has also been requested by Pacific Communities Builder, Inc., to allow for the construction of an age-restricted residential planned development with smaller lots and common open space; and

WHEREAS, an application for the above-described Tentative Tract Map has been filed pursuant to Chapter 16.08 of the Lancaster Municipal Code (“LMC”); and

WHEREAS, an application for the above-described Conditional Use Permit has been filed pursuant to the regulations contained in Article I of Chapter 17.32 of the LMC; and

WHEREAS, staff has performed the necessary investigations to ensure the proposed division of land would be consistent with the purpose of the City’s Subdivision Ordinance, the State Subdivision Map Act, and the regulations of the LMC, prepared a written report, and recommended approval of this Tentative Tract Map and Conditional Use Permit, subject to conditions; and

WHEREAS, a notice of intention to consider the granting of a Conditional Use Permit has been given as required by Article V of Chapter 17.32 of the LMC, and Section 65905 of the Government Code of the State of California; and

WHEREAS, an Initial Study (SCH #2022100369) was prepared for the proposed project in compliance with the California Environmental Quality Act (“CEQA”) and circulated for public review ending on November 17, 2022; and

WHEREAS, public notice was provided, as required by law, and a public hearing was held on December 12, 2022; and

WHEREAS, the Planning Commission, after considering all evidence presented, desires to approve the Applicant’s requested Tentative Tract Map and Conditional Use Permit

PC Resolution No. 22-33

TTM No. 53642/CUP No. 22-08

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NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LANCASTER, DOES HEREBY RESOLVE, DETERMINE AND ORDER, AS FOLLOWS:

Section 1. That the Planning Commission hereby adopts the following findings pursuant to Section 16.08.110 of the LMC:

- a. The proposed subdivision is consistent with the general plan, any applicable specific plan, and is compatible with the general plan land uses, goals, objectives, policies, and specific actions specified in such plan.
- b. The design and improvement of the proposed subdivision is consistent with the general plan, any applicable specific plan, Title 17, and this title.
- c. The site is physically suitable for the type and density of the development proposed.
- d. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- e. The design of the subdivision or the type of improvements will not cause serious public health problems.
- f. The design or the types of improvements of the subdivision will not conflict with easements acquired by the public at large, for access through, or use of, property within the subdivision. The City may approve the map if alternate easements will be provided in accordance with Section 66474(g) of the Subdivision Map Act.
- g. The City's action will not have an adverse effect on the housing needs of the region and the City has balanced these needs against the public service needs of its residents and available fiscal and environmental resources, in accordance with Section 66412.3 of the Subdivision Map Act.
- h. The design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

Section 2. That the Planning Commission hereby adopts the following CUP findings pursuant to Section 17.32.090 of the LMC, in support of approving this application:

- a. That the proposed use will not be in substantial conflict with the adopted general plan for the area.
- b. The requested use at the location proposed will not:
  1. Adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area.
  2. Be materially detrimental to the use, enjoyment or valuation of property of other persons located in the vicinity of the site.



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3. Jeopardize, endanger or otherwise constitute a menace to the public health, safety or general welfare.
- c. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
- d. The proposed site is adequately served:
  1. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate.
  2. By other public or private service facilities as are required.

Section 3. That the Planning Commission hereby adopts the following Residential Planned Development findings pursuant to Section 17.08.340 of the LMC, in support of approving this application:

- a. The residential planned development meets the goals of the city general plan, pertaining to community design, and the objectives to “enhance overall community form, create a vibrant sense of place,” and to “improve the city’s visual identity by utilizing design standards that instill a sense of pride and well-being in the community.
- b. The residential planned development adheres to the adopted city design guidelines and the design and performance standards listed in this section, and is consistent with the mission statement of “implementing quality design for timeless architecture that enhances the community’s image, pride and quality of life.”
- c. The residential planned development is comprehensive, covers a logical planning area, and provides the opportunity for unique and creative designs that are not possible under the city’s typical development regulations.

Section 4. This Commission hereby finds the foregoing recitals are true, correct and a substantive part of this resolution.

Section 5. That the Planning Commission hereby certifies that it has reviewed and considered the information in the Initial Study/Mitigated Negative Declaration prepared for the proposed project in compliance with the California Environmental Quality Act (“CEQA”) (including its implementing regulations) prior to taking action. The Planning Commission hereby finds that the Initial Study determined that the proposed project could have a significant effect on the environment; however, there will not be a significant effect in this case with the implementation of the mitigation measures as detailed in the Mitigated Negative Declaration. The Planning Commission hereby finds, pursuant to Section 21082.1 of the Public Resources Code, that the Initial Study/Mitigated Negative Declaration prepared for the proposed project reflects the independent judgement of the City of Lancaster.

PC Resolution No. 22-33

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Section 6. That the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program included in the Mitigated Negative Declaration.

Section 7. That the Community Development Division staff is hereby authorized and directed to prepare, execute and file a Notice of Determination pursuant to CEQA (including its implementing guidelines).

Section 8. This Commission hereby approves Tentative Tract Map No. 53642 and Conditional Use Permit No. 22-08, subject to the conditions attached hereto and incorporated herein.

PASSED, APPROVED and ADOPTED this 12<sup>th</sup> day of December 2022, by the following vote:

AYES: Vose, Harvey, Birden, Derryberry

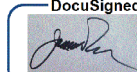
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ABSENT: Moore, Tufts, Underwood

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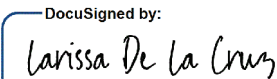


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JAMES D. VOSE, Chairman  
Lancaster Planning Commission

ATTEST:

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LARISSA DE LA CRUZ, Senior Manager – Community Development  
City of Lancaster

**Attachment:**

Conditions List

Mitigation Monitoring and Reporting Program

**ATTACHMENT TO PC RESOLUTION NO. 22-33  
TENTATIVE TRACT MAP NO. 53642  
CONDITIONAL USE PERMIT NO. 22-08  
CONDITIONS LIST  
December 12, 2022**

**GENERAL**

1. Unless otherwise indicated herein, the development of the site shall be in substantial conformance with approved site plans on file in the Community Development Division.
2. The approval of this tentative map shall expire 24 months from the date of conditional approval. The subdivider may file for three one-year extensions of the conditionally approved map prior to the date of expiration. If such extension is requested, it must be filed no later than 60 days prior to expiration.
3. This Conditional Use Permit must be used within two (2) years from the date of approval; otherwise the Conditional Use Permit will expire. The applicant may, not less than sixty (60) days prior to the expiration date, request a total of three one-(1)-year extensions in writing to the Community Development Manager. Modifications to the plan, including timing of on- and off-site improvements that do not raise significant new issues or extend the overall time frame beyond the approval period may be approved by the Community Development Manager.

Note: Issuance of building permits, installation of off-site improvements, and grading of the site do not constitute “use” of the conditional use permit. Under the Zoning Ordinance, construction or other development authorized by the conditional use permit must have commenced. Generally, the City requires that the slab of a major building in the project be poured and inspected in order to consider the permit used, although the circumstances of each case may vary depending on the land use involved. For the sale of alcohol within an existing building, the City generally requires that a license has been issued by the State of California Alcoholic Beverage Control to constitute “use” of the conditional use permit.

4. Comply with all requirements of the Municipal Code and of the specific zoning of the subject property.
5. The subdivider/applicant shall defend, indemnify, and hold harmless the City, its elected officials, officers, employees and representatives from any claim, action, or proceeding against the City or its elected officials, officers, employees and representatives to attack, set aside, void, or annul, an approval of the City concerning this subdivision, which action is brought within the time period provided for in Section 66499.37 of the Subdivision Map Act, or an approval of the City concerning this site plan review and the use(s) and development permitted by its approval. The City shall promptly notify the subdivider of any claim, action, or proceeding and shall cooperate fully in the defense; this condition

shall not be imposed if the City fails to promptly notify the subdivider or fails to cooperate fully in the defense.

6. All requirements of the Municipal Code and the specific zoning of the subject property must be complied with unless otherwise set forth in the permit or shown on the approved site plan.
7. The applicant shall contact the Los Angeles County Fire Department to determine the improvements that may be required to protect the property from fire hazards and shall provide and install at their expense such improvements as may be deemed necessary by the Los Angeles County Fire Department. Fire protection improvements shall be completed to the satisfaction of the Development Services Director prior to certification of completion and occupancy of the subject buildings.
8. The following items/plans shall be submitted to the Development Services Department, which shall route them to the Community Development Division for concurrent review and approval prior to issuance of permits:
  - a. Lighting Plan
  - b. Building Plan
  - c. Grading Plan
  - d. Landscape Plan
  - e. Trash Enclosure Plan
9. All necessary permits shall be obtained from the Development Services Department prior to any construction, remodeling, or replacement of buildings or other structures.
10. Prior to building permit issuance, the applicant shall pay all applicable development fees including, but not limited to, the following: 1) Los Angeles County Sanitation District Sewer Connection Fee; 2) Interim School Facilities Financing Fee; 3) Traffic Signal Fee; 4) Planned Local Drainage Facilities fee; 5) Dwelling Unit Fee; 6) Traffic Impact Fees; 7) Urban Structure Program Fee (Park Development Fee, Administrative Office Fee, Corporate Yard Fee, and Operations Impact Fee, etc.); and 8) Landscape Fee.
11. If any provision of this permit is held or declared to be invalid, the permit shall be void, and the privileges granted hereunder shall lapse.
12. It is further declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the permit shall be suspended and the privileges granted hereunder shall lapse provided that the applicant has been given written notice to cease such violation and has failed to do so within the time period indicated in the notice.
13. All construction and/or installation of improvements shall be undertaken to the specification of the Lancaster Municipal Code.
14. Prior to building/grading permit issuance, whichever comes first, the applicant shall submit a geotechnical report as detailed in Chapter 18 of the latest edition of the California

Building Code and as required by the Development Services Department. The geotechnical report shall be completed in accordance with the County of Los Angeles, Department of Public Works, Manual for Preparation of Geotechnical Reports.

15. If the map is to be recorded in phases, the subdivider shall submit a phasing plan and phasing condition/mitigation measure matrix to the Community Development Division for approval thirty (30) days prior to filing the final map of the first phase.
16. The applicant is advised that details shown on the tentative map are not necessarily approved. Any details which are inconsistent with requirements of ordinances, general conditions of approval, or City policies must be specifically approved by the City in writing.
17. Prior to occupancy of any buildings or structures, the permittee shall request, no less than forty-eight (48) hours in advance, that on-site inspection be made by the Community Development Division to verify that development of the property has occurred in conformity with conditions as enumerated in this permit.
18. If the project is developed in phases, all the development requirements shall be met for each phase including parking, landscaping, trash enclosures, drainage, etc. The developer shall provide a phasing plan and phasing condition/mitigation measure matrix to the Community Development Division for approval prior to the issuance of construction-related permits.
19. The applicant shall be responsible for notifying the Community Development Division in writing of any change in ownership, designation of a new engineer, or change in the status of the developer, within thirty (30) days of said change.
20. This conditional use permit will not be effective until ten (10) working days after the date upon which it is granted by the Planning Commission and until the applicant has executed and returned to the Community Development Division an authorized acceptance of the conditions of approval applicable to said permit.
21. Expansion or intensification of the use beyond the approval specified herein would require subsequent review and possible application for amendment. The Community Development Manager is authorized to approve modifications to the site plan provided such modifications do not substantially change the intent of the approved use, avoid issues raised at the public meeting, or raise new issues not previously addressed.
22. Prior to occupancy of any model homes, the applicant shall provide adequate off-street parking and complete adjoining street improvements.
23. The first check of the final map shall be submitted at least 180 days prior to the expiration date of the tentative map.
24. Prior to building/grading permit issuance, whichever comes first, the applicant shall submit a geotechnical report as detailed in Chapter 18 of the latest edition of the California Building Code and as required by the Development Services Department. The geotechnical

report shall be completed in accordance with the County of Los Angeles, Department of Public Work, Manual for Preparation of Geotechnical Reports.

25. All construction and/or installation of improvements shall be undertaken to the specification of the Lancaster Municipal Code.
26. An encroachment permit shall be obtained from the Development Services Department prior to doing any work within the public right-of-way.
27. Prior to final map recordation, the subdivider shall be required to install distribution lines and individual service lines for appropriate cable television systems to each parcel in the subdivision.
28. Prior to permit issuance, the applicant by agreement with the Development Services Director, may guarantee installation of improvements as determined by the Development Services Director through faithful performance bonds, letters of credit, or any other acceptable means acceptable to the Development Services Director, Finance Director, and/or City Attorney.
29. Provide at least 40 feet of frontage at the property line and approximately radial lot lines for all lots fronting on the cul-de-sacs or knuckles.

#### **FEES, ASSESSMENTS, AND ANNEXATIONS**

30. Prior to recordation of the final map and/or building occupancy, the property shall be annexed into the Lancaster Drainage Maintenance District.
31. Prior to recordation of the final map and/or building occupancy, the property shall be annexed into the Lancaster Lighting Maintenance District.
32. Prior to recordation of the final map and/or building occupancy, the property shall be annexed into the Lancaster Landscape Maintenance District.
33. The applicant is hereby advised that this project is subject to 1<sup>st</sup> year's assessment fees for the following maintenance districts, as applicable, prior to issuance of related permits (grading, building, sewer, etc.): 1) Lancaster Drainage Maintenance District, 2) Lancaster Lighting Maintenance District, 3) Lancaster Sewer Maintenance District, and 4) Lancaster Landscape Maintenance District.

#### **STREETS**

34. Provide letter(s) of slope easement(s) as directed by the Development Services Director.
35. Prior to building occupancy, the applicant shall repair or replace any broken, damaged, and/or non-ADA compliant pavement, curb, gutter, and sidewalk on streets within or abutting the project to street centerline to the satisfaction of the Development Services Director.

36. The applicant shall comply with City Municipal Code, Chapter 13.20, Article II, entitled Installation/Relocation for New/Expanded Development of Overhead Utilities as directed by the Development Services Director. (Ordinance No. 361)
37. The proposed project shall comply with the City of Lancaster Holiday Moratorium Policy. No excavation or work shall occur within the public right-of-way on Primary Arterials, Secondary Arterials, and Collector Streets between November 15th and January 2nd, except work pertaining to public safety or with the written permission of the City Manager. Work commenced prior to the restriction period must be in such a condition that it will be resurfaced prior to November 15th.

#### **TRAFFIC IMPROVEMENT PLANS**

38. Prior to issuance of the street improvement encroachment permit, the applicant shall obtain approval of a signing and striping plan. The signing and striping plan shall be completed in accordance with all City of Lancaster standards, as directed by the City Engineer.
39. Prior to issuance of the street improvement encroachment permit, the applicant shall obtain approval of temporary traffic control plan and allowable working hours, as directed by the City Engineer.

#### **STREET RIGHT-OF-WAY**

40. Prior to Tract Map approval, the applicant shall dedicate additional street right-of-way for a total of 60 feet from centerline on 60<sup>th</sup> Street West fronting the project site, as directed by the City Engineer.
41. Prior to Tract Map approval, the applicant shall dedicate additional street right-of-way for a total of 42 feet from centerline on Avenue K-8 fronting the project site, as directed by the City Engineer.
42. Prior to Tract Map approval, the applicant shall dedicate additional street right-of-way for a total of 30 feet from centerline on Avenue K-4 fronting the project site, as directed by the City Engineer.
43. Prior to issuance of building permits/Tract Map approval, the applicant shall dedicate a corner cutoff at all intersections, as defined by the City of Lancaster Engineering Design Guidelines (Sections 2.2.10.6.1 and 2.2.10.6.2).

## STREET IMPROVEMENTS

44. Prior to building occupancy, the applicant shall construct the following street improvements within/along the frontage of the project site, as directed by the City Engineer:

Street Name	Curb & Gutter	Base & Paving	Street Lights	Street Trees	Sidewalk (5'min)	Landscaped Median	Curb-Delineated Median	Class II Bike Lanes	LMD Easement
60 <sup>th</sup> Street West	X	X	X	X	X			X	X
Avenue K-4	X	X	X	X	X				
Avenue K-8	X	X	X	X	X			X	X

45. The following private streets shall be constructed to private street standards:

- All internal streets.

46. The applicant shall install bike lanes along the west side of 60<sup>th</sup> Street West from Avenue K to Avenue K-8. Applicant shall also install a bike lane along the north side of Avenue K-8 from 60<sup>th</sup> Street West to 57<sup>th</sup> Street West.
47. Prior to building occupancy, the applicant shall construct additional pavement as required to transition to the existing pavement in accordance with City of Lancaster Engineering Design Guidelines (Section 2.2.10.24), to the satisfaction of the City Engineer.
48. Prior to building occupancy, the applicant shall install conduit, pull rope, and pull boxes along regional, primary and secondary arterials to the nearest arterial intersection to be used for future Traffic Signal Communication Interconnect. The interconnect system shall be installed in accordance with the specifications approved by the Traffic Section, to the satisfaction of the City Engineer.
49. Prior to occupancy, the applicant shall design and construct City owned and maintained street lighting systems. The street lighting system shall be designed using a LS-3 rate schedule unless the new lights can be connected to an existing LS-2 rate schedule system **and** Southern California Edison will not require the installation of a pedestal. The Developer's engineer shall prepare all plans necessary to build said street lighting system in accordance with Southern California Edison and City of Lancaster standards.
50. Prior to issuance of Tract Map approval, the applicant shall dedicate a total of 10' along 60<sup>th</sup> Street West and 4' along Avenue K-8 as a Landscape Maintenance District easement.



### **DRIVEWAY REQUIREMENTS**

51. Prior to issuance of building permits, the applicant shall dedicate the right to restrict direct vehicular ingress and egress on all streets having a projected volume of 2,000 vehicles trips each day and within 100 feet of any secondary or primary arterial, on the Tract Map or by separate document.

### **INTERSECTION IMPROVEMENTS**

52. Prior to building occupancy, the applicant shall provide and install street name signs, as directed by the City Engineer.
53. Prior to building occupancy, the applicant shall design and construct ADA-compliant curb ramps at the following locations, to the satisfaction of the City Engineer:
  - Southeast corner of 60<sup>th</sup> Street West and Avenue K-4
  - Northeast corner of 60<sup>th</sup> Street West and Avenue K-8
  - Southwest and southeast corner of Avenue K-4 and Street “I”
  - Northwest and northeast corner of Avenue K-8 and Street “J”

The curb ramp(s) shall comply with the requirements of Title II of the American with Disabilities Act (ADA) relating to curb ramps and pedestrian crossings.

### **FEE REQUIREMENTS**

54. Prior to site plan approval, the applicant shall pay all required Local Transportation Assessment review fees as outlined in the City’s most current Fee Schedule.
55. Prior to building permit issuance, the applicant shall pay traffic impact fees adopted by City Council Ordinance 850 and Resolution 06-163 to be used for the improvement of off-site streets within the unincorporated areas of Los Angeles County. This fee applies to any project within the boundaries of Avenue J-8 to Avenue L-8 and 40<sup>th</sup> Street West to 100<sup>th</sup> Street West. The amount of this fee is outlined in the City’s most current Fee Schedule.

### **DRAINAGE/GRADING**

56. Prior to finale map approval, grading permit issuance, and/or storm drain permit issuance, the applicant shall acquire and dedicate all required easements for drainage improvements as identified in the final hydrology/hydraulic report on the Tract Map or by separate instrument. All right-of-way dedications will be to the satisfaction of the City Engineer.
57. Provide for contributory drainage from adjoining properties and return drainage to its natural conditions or secure off-site drainage acceptance letters from affected property owners.

58. Prior to issuance of a grading permit, the applicant shall submit a grading plan consistent with the approved site plan and conditions of approval. The grading plan shall be based on an approved drainage area study and hydrology/hydraulic report, detailed recent topographic survey, and a detailed engineering soils report specifically approved by the geologist and/or soils engineer that addresses all submitted recommendations.
59. Prior to final map approval or grading permit issuance, whichever comes first, the applicant shall obtain approval of the final hydrology/hydraulic study. The final drainage facilities shall be based on the approved hydrology/hydraulic study and will be designed based on the City of Lancaster Engineering Design Guidelines Policies and Procedures Sections 2.7 and 3, and/or to the satisfaction of the Development Services Director. Any on-site and/or off-site mitigation measures required by the approved hydrology/hydraulic study shall be constructed prior to first occupancy.
60. Prior to first occupancy, the applicant shall construct all drainage improvements required by the City of Lancaster's Master Plan of Drainage Facilities (MPDF) when warranted by upstream development and/or if identified as "critical" by the Master Plan of Drainage or City Engineer to the satisfaction of the Development Services Director. This may include but not be limited to a 120-inch reinforced concrete pipe(s) in 60<sup>th</sup> Street West. The hydrology/hydraulic report prepared for the project shall provide calculations demonstrating the proposed improvements will be of sufficient size and capacity to mitigate and convey interim and ultimate watershed flow from the project site and surrounding off-site tributary areas. The hydrology/hydraulic report shall also include analyses to determine if and when the MPDF will be warranted and identify any interim MPDF and/or local improvements required with the project. The applicant is hereby advised that this project is subject to Planned Local Drainage Facilities Fees at the time of building permit issuance as part of their fair share of future costs. If ultimate MPDFs are warranted at the time of development, the applicant may enter into a reimbursement agreement with the City and be credited fees per the City's Drainage Reimbursement Policy.
61. Prior to building occupancy, all drainage facilities and streets with secondary overflow are to be constructed and approved prior to occupancy of any structure within the project to the satisfaction of the Development Services Director.
62. Prior to first occupancy, the applicant shall design and construct an on-site drainage basin or underground retention or other approved drainage solution as warranted to mitigate the developed runoff per an approved hydrology study to the satisfaction of the Development Services Director.
63. Prior to final map approval or grading permit issuance, the streets shall be designed to avoid creating sump conditions to the satisfaction of the Development Services Director. If a sump condition is unavoidable, design streets so that secondary overflow is through the streets and, as needed, design and install redundant drainage systems (i.e., additional

storm drain line and catch basin systems). Secondary overland overflow shall not be allowed through lot easements. Secondary overland overflow shall be allowed through fee title dedicated drainage paths, paseos or other pedestrian walkways and passageways.

64. The project shall comply with the Best Management Practices (BMPs) of the National Pollutant Discharge Elimination System (NPDES) and all NPDES Permit Requirements.
65. Prior to building occupancy, install BMPs to treat first flush.
66. Prior to issuance of any construction related permits (grading, building, etc.), a Dust Control Plan shall be prepared and submitted to the Antelope Valley Air Quality Management District (AVAQMD) in accordance with Rule 403 of the AVAQMD. An approved copy of the Dust Control Plan shall be submitted to the Development Services Department for residential projects of 10 acres and larger and for commercial/industrial projects of 5 acres and larger. In lieu of an approved plan, a letter from the AVAQMD waiving this requirement shall be submitted.
67. Prior to commencing hauling operations for this project, the applicant shall obtain a hauling permit for an import/export of > 100 CY of hauling material to/from the project within the public right-of-way including the export/receiving site and an exhibit of the proposed haul route. The applicant is responsible to obtain approval from all applicable agencies for the material hauling operation. The designated haul route shall be designed to the requirements of the City of Lancaster Design Guidelines, Standards, and Municipal Code and to the satisfaction of the Development Services Director.
  - a. The applicant shall comply with the following requirements for the material hauling operation:
    - i. The hours of operation shall be approved by the Development Services Director.
    - ii. Provide non-stop street sweeping service on all City streets along the haul route during all hours of work to the satisfaction of the Development Services Director.
    - iii. Provide traffic control and flagging personnel along the haul route to the satisfaction of the Development Services Director.
    - iv. When required by the Development Services Director, the applicant shall post a security to serve as surety of repair in the event facilities within the City right-of-way are adversely impacted by the hauling operations.
  - b. Prior to building occupancy/release of security, the applicant shall repair any pavement damaged by the material hauling operation to the satisfaction of the Development Services Director. The security will not be reduced or released or building occupancy given until the completion of the repair work. The limits of the road repairs shall be consistent with the approved haul route and determined by the Development Services Director.

## **SEWER**

68. Prior to final map approval, sewer plan/lateral connection approval, and/or sewer permit issuance, the applicant shall acquire and dedicate all required easements for sewer improvements as identified in the final sewer area study report on the Tract Map or by separate instrument. All right-of-way dedications will be to the satisfaction of the City Engineer.
69. Prior to issuance of a sewer plan/lateral connection approval, and/or sewer encroachment permit issuance, the applicant shall submit a public sewer plan consistent with the approved site plan and conditions of approval. The sewer plan shall be based on an approved Sewer Area Study.
70. Prior to sewer plan/lateral connection approval and/or sewer encroachment permit issuance, the applicant shall submit a private sewer plan for private sewer to public standard, minimum grades of sewer main to be per Section 2.4.9.4 of the Engineering Design Guidelines, consistent with the approved site plan and conditions of approval. The sewer plan shall be based on an approved Sewer Area Study.
71. Prior to final map approval, sewer plan/lateral connection approval, and/or sewer encroachment permit issuance, whichever comes first, the applicant shall obtain approval of the final sewer area study. The final sewer facilities shall be based on the approved sewer area study and will be designed based on the City of Lancaster Engineering Design Guidelines Policies and Procedures Section 2.4, and/or to the satisfaction of the Development Services Director. Any on-site and/or off-site mitigation measures required by the approved sewer area study shall be constructed prior to first occupancy.
72. Per the direction of the Development Services Director, provide a sewer area study prior to submittal of the final map.
73. Prior to building occupancy, approval of this project is contingent upon the installation of local main line sewers and separate laterals to serve each structure at such time as the permanent structures are constructed on the site.
74. Prior to sewer plan approval, the streets shall be designed to avoid creating sump conditions to the satisfaction of the Development Services Director. Local main line sewers shall not be allowed through lot easements. Local main line sewers shall be allowed through fee title dedicated drainage paths, paseos or other pedestrian walkways and passageways.

## **WATER**

75. The project shall be served by adequately sized water system facilities, including fire hydrants, of sufficient size to accommodate the total domestic and fire flows required for the land division. Domestic flows required are to be determined by the Development Services Director. Fire flows required are to be determined by the Fire Chief.

76. There shall also be filed with this project a statement from the water purveyor indicating that water service shall be provided to each lot and that the proposed water mains and any other required facilities will be operated by the purveyor and that under normal operating conditions the system will meet requirements for the land division.
77. Per the direction of the Community Development Manager and the Development Services Director, the applicant shall be required to comply with all Ordinances in effect at the time of project construction to address the balance of water supply to water demand.
78. In order to obtain a conditional will-serve letter, the Project applicant must secure permanent water supply entitlements sufficient to meet the Project's annual water demands as determined by the Los Angeles County Waterworks District 40 (District). This entitlement may be secured through entering an agreement with the District to purchase new State Water Project Table A or other permanent water supply through the Antelope Valley-East Kern Water Agency.
79. In addition to the condition above, the District may require that: (1) various charges/fees be paid by the owner/developer of the property; (2) on-site and off-site water system facilities be installed by a State licensed contractor retained by the owner/developer, and inspected and accepted by the District, using plans prepared by a licensed engineer that are reviewed by the District; or (3) a combination of (1) and (2). Once constructed to the satisfaction of the District, the water system facilities are to be dedicated gratis to the District for subsequent operation and maintenance.

### **COMMUNITY DEVELOPMENT**

80. The applicant is hereby advised that the use of any signs, strings of pennants, banners or streamers, clusters of flags and similar attention-getting devices are prohibited, except where there has been prior written approval from the Community Development Division.
81. Prior to issuance of grading permits, the applicant shall receive approval from the Los Angeles County Fire Department.
82. Elevations and architectural details of the future buildings are subject to review and approval by the City of Lancaster Community Development Division to ensure that they are compatible with the established architectural design guidelines. This includes, but is not limited to, architectural style, color, exterior materials, material and type of walls. The applicant shall provide 360-degree architectural treatments for all proposed buildings.
83. All elevations and floor plans for residential subdivisions shall be subject to approval by the City of Lancaster Community Development Division.

### **LANDSCAPING**

84. Prior to landscape encroachment permit, landscape plans shall be prepared in accordance with Ordinance No. 1070 and submitted to the Development Engineering Section of

Development Services Department, along with required plan check fees, for review and approval prior to the installation of landscaping or irrigation systems. Such plans are to be incorporated into development of the site and shall show size, type, and location of all plants, trees, and irrigation facilities.

85. Prior to Tract Map approval, the applicant shall dedicate landscape easements fronting the project site, as directed by the City Engineer.
86. Prior to building occupancy, provide landscape easement and maintenance district along primary and secondary arterials, in accordance with City policy. The irrigation system, landscape plan, and plant materials are subject to approval by the Development Services Director. The construction materials, color, and design of the decorative (i.e., slump stone, split faced with brick pilasters, and decorative brick cap) masonry wall abutting the landscape maintenance district and entry street is subject to approval of the Community Development Manager. The irrigation and plant materials shall be installed and completed to the satisfaction of the Development Services Director prior to occupancy of any residence within the development.
87. Prior to building occupancy, the developer shall install a “purple pipe” irrigation system in all landscape maintenance districts to provide for future connection to a recycled water system to the satisfaction of the Development Services Director.
88. Once installed, all landscaping shall remain in perpetuity.

#### **OTHER**

89. The applicant shall pay a fee to the City of Lancaster in the sum of \$770.00 per gross acre, to be held in the biological mitigation fund as established by the City Council. Payment of said fee shall occur prior to Final Map for Parcel/Tract Maps and prior to or concurrent with the approval of a grading permit for all other projects. Additionally, should the applicant be required to pay mitigation fees under the California Department of Fish and Wildlife, these fees can be deducted from the amount collected by the City of Lancaster.
90. Prior to first issuance of building permit and final map approval, the applicant shall record a covenant for easement and/or a reciprocal access easement and maintenance agreement for all shared driveways and drive aisles, private drainage devices, and common landscaping maintenance areas, within the project site and along the project frontage as directed by the Development Services Director. This condition may be satisfied by incorporating the appropriate provisions into the CC&Rs.
91. Prior to final map approval, the applicant is required to grant public utility easements shown on the Tract Map and/or listed in conditions by separate document. The easements shall be reviewed and approved by the Development Services Director.

92. Prior to final map approval, the applicant shall dedicate to the City the right to prohibit the erection of building(s) and other structures within open space/common lots.
93. Prior to first issuance of building permit and final map approval, the applicant shall obtain approval from the Development Services Director and the City Attorney for Covenants, Conditions, and Restrictions (CC&Rs) for this development. The applicant shall reimburse the City for the City Attorney's review fee. The CC&Rs shall grant the City the authority to review and approve/disapprove amendments (including dissolution) of the CC&Rs/association. The CC&Rs shall grant the City the right (although not the obligation) to enforce the CC&Rs (at a minimum those provisions related to City-required items).
94. Prior to first issuance of building permit, the applicant shall establish a Property/Home Owners' Association (POA/HOA), or similar entity, to ensure the continued maintenance of all shared/common lots, including the park, private drainage devices, all shared driveways and drive aisles, and common landscaping maintenance areas.
95. Prior to final map submittal, applicant shall perform a new detailed boundary survey in the surrounding quarter section showing current monumentation and measurements affecting the subject property.

#### **ENVIRONMENTAL/MITIGATION MEASURES**

96. Prior to ground disturbance activities, the project operator shall provide evidence to the Development Services Director that the project operator and/or construction manager has developed a "Valley Fever Training Handout", training, and schedule of sessions for education to be provided to all construction personnel. All evidence of the training session materials, handout(s) and schedule shall be submitted to the Development Services Director within 24 hours of the first training session. Multiple training sessions may be conducted if different work crews will come to the site for different stages of construction; however, all construction personnel shall be provided training prior to beginning work. The evidence submitted to the Development Services Director regarding the "Valley Fever Training Handout" and Session(s) shall include the following:
  - A sign-in sheet (to include the printed employee names, signature, and date) for all employees who attended the training session.
  - Distribution of a written flier or brochure that includes educational information regarding the health effects of exposure to criteria pollutant emissions and Valley Fever.
  - Training on methods that may help prevent Valley Fever infection.
  - A demonstration to employees on how to use personal protective equipment, such as respiratory equipment (masks), to reduce exposure to pollutants and facilitate recognition of symptoms and earlier treatment of Valley Fever. Where respirators are required, the equipment shall be readily available and shall be provided to

employees for use during work. Proof that the demonstration is included in the training shall be submitted to the county. This proof can be via printed training materials/agenda, DVD, digital media files, or photographs.

The project operator also shall consult with the Los Angeles County Public Health to develop a Valley Fever Dust Management Plan that addresses the potential presence of the *Coccidioides* spore and mitigates for the potential for *Coccidioidomycosis* (Valley Fever). Prior to issuance of permits, the project operator shall submit the Plan to the Los Angeles County Public Health for review and comment. The Plan shall include a program to evaluate the potential for exposure to Valley Fever from construction activities and to identify appropriate safety procedures that shall be implemented, as needed, to minimize personnel and public exposure to potential *Coccidioides* spores. Measures in the Plan shall include the following:

- Provide HEP-filters for heavy equipment equipped with factory enclosed cabs capable of accepting the filters. Cause contractors utilizing applicable heavy equipment to furnish proof of worker training on proper use of applicable heavy equipment cabs, such as turning on air conditioning prior to using the equipment.
- Provide communication methods, such as two-way radios, for use in enclosed cabs.
- Require National Institute for Occupational Safety and Health (NIOSH)-approved half-face respirators equipped with minimum N-95 protection factor for use during worker collocation with surface disturbance activities, as required per the hazard assessment process.
- Cause employees to be medically evaluated, fit-tested, and properly trained on the use of the respirators, and implement a full respiratory protection program in accordance with the applicable Cal/OSHA Respiratory Protection Standard (8 CCR 5144).
- Provide separate, clean eating areas with hand-washing facilities.
- Install equipment inspection stations at each construction equipment access/egress point. Examine construction vehicles and equipment for excess soil material and clean, as necessary, before equipment is moved off-site.
- Train workers to recognize the symptoms of Valley Fever, and to promptly report suspected symptoms of work-related Valley Fever to a supervisor.
- Work with a medical professional to develop a protocol to medically evaluate employees who develop symptoms of Valley Fever.
- Work with a medical professional, in consultation with the Los Angeles County Public Health, to develop an educational handout for on-site workers and surrounding residents within three miles of the project site, and include the following information on Valley Fever: what are the potential sources/ causes, what are the common symptoms, what are the options or remedies available should someone be experiencing these symptoms, and where testing for exposure is available. Prior to construction permit issuance, this handout shall have been



created by the project operator and reviewed by the project operator and reviewed by the Development Services Director. No less than 30 days prior to any work commencing, this handout shall be mailed to all existing residences within a specified radius of the project boundaries as determined by the Development Services Director. The radius shall not exceed three miles and is dependent upon the location of the project site.

- When possible, position workers upwind or crosswind when digging a trench or performing other soil-disturbing tasks.
- Prohibit smoking at the worksite outside of designated smoking areas; designated smoking areas will be equipped with handwashing facilities.
- Post warnings on-site and consider limiting access to visitors, especially those without adequate training and respiratory protection.
- Audit and enforce compliance with relevant Cal OSHA health and safety standards on the job site.

97. The applicant shall retain a qualified biologist who shall conduct burrowing owl protocol surveys on the project site in accordance with the procedures established by the California Department of Fish and Wildlife in the Staff Report on Burrowing Owl Mitigation prior to the issuance of any construction related permits. If burrowing owls are identified during the surveys, the applicant shall contact the California Department of Fish and Wildlife (CDFW) to develop appropriate mitigation/management procedures. The applicant shall submit a final Burrowing Owl Mitigation Plan to the City prior to issuing construction permits. The applicant shall implement all measures identified in the Burrowing Owl Mitigation Plan.

At a minimum, the following shall occur:

- If burrowing owls are identified during the non-nesting season, a qualified biologist shall install one-way gates to relocate the owl to a suitable nearby property. Upon confirmation that the burrow is empty, the burrow shall be collapsed.
- In the event that a breeding pair or female owl with offspring are present at the burrow, a buffer zone of at least 50 feet shall be established around the burrow until the offspring have fledged and left the burrow. No work shall occur within the buffer zone. The specific buffer zone shall be established in coordination with CDFW.

98. A nesting bird survey shall be conducted by a qualified biologist within 30 days prior to the start of construction/ground disturbing activities. If active bird nests are identified during the survey, the applicant shall contact the California Department of Fish and Wildlife to determine the appropriate mitigation/management requirements. Impacts to nesting birds will be avoided by delay of work or establishing a buffer of 500 feet around active raptor nests and 50 feet around other migratory bird species.

99. The applicant shall retain a professional Native American monitor procured by the Fernandeno Tataviam Band of Mission Indians (FTBMI) to observe all clearing, grubbing, and grading operations within the proposed impact areas. If cultural resources are encountered, the Native American monitor will have the authority to request that ground-disturbing activities cease within 60 feet of discovery to assess and document potential finds in real time. One monitor will be required on-site for all ground-disturbing activities in areas designated through additional consultation. However, if ground-disturbing activities occur in more than one of the designated monitoring areas at the same time, then the parties can mutually agree to an additional monitor, to ensure that simultaneously occurring ground-disturbing activities receive thorough levels of monitoring coverage.
100. The Lead Agency and/or applicant shall in good faith, consult with the FTBMI on the disposition and treatment of any Tribal Cultural Resources encountered during all ground activities.
101. In the event that cultural resources are discovered during project activities, all work in the immediate vicinity of the find (within a 60-foot buffer) shall cease and a qualified archaeologist meeting Secretary of Interior standards shall be hired to assess the find. Work on the other portions of the project outside of the buffered area may continue during this assessment period. Additionally, the FTBMI and Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) shall be contacted regarding any pre-contact and/or historic-era finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment.
102. If significant pre-contact and/or historic-era cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to the FTBMI and YSMN for review and comment, as detailed within Mitigation Measure No. 6. The archaeologist shall monitor the remainder of the project and implement the Plan accordingly.
103. If human remains or funerary objects are encountered during any activities associated with the project, work in the immediate vicinity (within a 100-foot buffer of the find) shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5 and that code enforced for the duration of the project.
104. The Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) and the FTBMI shall be contacted, of any pre-contact and/or historic-era cultural resources discovered during project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with the FTBMI and YSMN, and all subsequent finds shall be subject to this

Plan. This Plan shall allow for a monitor to be present that represents FTBMI and YSMN for the remainder of the project, should the FTBMI and YSMN elect to place a monitor on-site.

105. Any and all archaeological/cultural documents created as a part of the project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to FTBMI and YSMN. The Lead Agency and/or applicant shall, in good faith, consult with FTBMI and YSMN through the life of the project.
106. The applicant shall submit the required Construction Excavation Fee to the Antelope Valley Air Quality Management District (AVAQMD) prior to the issuance of any grading and/or construction permits. This includes compliance with all prerequisites outlined in District Rule 403, Fugitive Dust, including submission and approval of a Dust Control Plan, installation of signage and the completion of a successful onsite compliance inspection by an AVAQMD field inspector. Proof of compliance shall be submitted to the City.
107. A paleontological resource mitigation program shall be prepared by a qualified paleontologist prior to the issuance of any construction related permits. At a minimum, the mitigation program shall include the following:
  - A Worker's Environmental Awareness Program (WEAP) shall be prepared and presented to all field personnel to describe the types of fossils that may be found and the procedures to follow if any are encountered.
  - Full time construction monitoring shall occur at all depths where alluvium is exposed and at depths greater than or equal to four feet below ground surface (bgs) where artificial fill is present. Full time monitoring may be reduced to spot-check monitoring at the discretion of the paleontologist if no intact and significant paleontological resources are encountered during the initial period of construction monitoring.
  - Provide details about fossil collection, analysis, and preparation for permanent curation at an approved repository.
108. The applicant shall have all non-compliant items discovered on the site and the dumped soil piles profiled (tested) to ensure proper disposal or potential reuse.
109. Construction operations shall not occur between 8 p.m. and 7 a.m. on weekdays or Saturday or at any time on Sunday. The hours of any construction-related activities shall be restricted to the periods and days permitted by local ordinance.
110. The on-site construction supervisor shall have the responsibility and authority to receive and resolve complaints. A clear appeal process to the owner shall be established prior to

construction commencement that will allow for resolution of noise problems that cannot be immediately solved by the site supervisor.

111. Electrically powered equipment shall be used instead of pneumatic or internal combustion power equipment, where feasible.
112. Material stockpiles and mobile equipment staging, parking and maintenance areas shall be located as far away as practicable from noise sensitive receptors.
113. The use of noise producing signals, including horns, whistles, alarms, and bells shall be for safety warning purposes only.
114. No project-related public address or music system shall be audible at any adjacent receptor.
115. All noise producing construction equipment and vehicles using internal combustion engines shall be equipped with mufflers, air-inlet silencers where appropriate, and other shrouds, shields, or other noise-reducing features in good operating condition that meets or exceeds original factory specifications. Mobile or fixed “package” equipment (e.g., arc-welders, air compressors, etc.) shall be equipped with shrouds and noise controls features that are readily available for the type of equipment.
116. The proposed development shall incorporate the design features recommended in the noise study, or the equivalent, to ensure noise impacts upon occupancy remain less than significant. These design features shall be indicated on the building plans.

Mit. No.	Mitigation Measure/ Conditions of Approval	Monitoring Milestone (Frequency)	Method of Verification	Party Responsible for Monitoring	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
AIR QUALITY							
1	<p>Prior to ground disturbance activities, the project operator shall provide evidence to the Development Services Director that the project operator and/or construction manager has developed a “Valley Fever Training Handout”, training, and schedule of sessions for education to be provided to all construction personnel. All evidence of the training session materials, handout(s) and schedule shall be submitted to the Development Services Director within 24 hours of the first training session. Multiple training sessions may be conducted if different work crews will come to the site for different stages of construction; however, all construction personnel shall be provided training prior to beginning work. The evidence submitted to the Development Services Director regarding the “Valley Fever Training Handout” and Session(s) shall include the following:</p> <ul style="list-style-type: none"><li>• A sign-in sheet (to include the printed employee names, signature, and date) for all employees who attended the training session.</li><li>• Distribution of a written flier or brochure that includes educational information regarding the health effects of exposure to criteria pollutant emissions and Valley Fever.</li><li>• Training on methods that may help prevent Valley Fever infection.</li><li>• A demonstration to employees on how to use personal protective equipment, such as respiratory equipment (masks), to reduce exposure to pollutants and facilitate recognition of symptoms</li></ul>	Prior to any ground disturbing activities.	A copy of all training session materials, handout(s), and schedule shall be provided to the Community Development Division	Development Services Department, Community Development Division (Planning)			

Mit. No.	Mitigation Measure/ Conditions of Approval	Monitoring Milestone (Frequency)	Method of Verification	Party Responsible for Monitoring	VERIFICATION OF COMPLIANCE		
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	<p>and earlier treatment of Valley Fever. Where respirators are required, the equipment shall be readily available and shall be provided to employees for use during work. Proof that the demonstration is included in the training shall be submitted to the county. This proof can be via printed training materials/agenda, DVD, digital media files, or photographs.</p> <p>The project operator also shall consult with the Los Angeles County Public Health to develop a Valley Fever Dust Management Plan that addresses the potential presence of the Coccidioides spore and mitigates for the potential for Coccidioidomycosis (Valley Fever). Prior to issuance of permits, the project operator shall submit the Plan to the Los Angeles County Public Health for review and comment. The Plan shall include a program to evaluate the potential for exposure to Valley Fever from construction activities and to identify appropriate safety procedures that shall be implemented, as needed, to minimize personnel and public exposure to potential Coccidioides spores. Measures in the Plan shall include the following:</p> <ul style="list-style-type: none"> <li>• Provide HEP-filters for heavy equipment equipped with factory enclosed cabs capable of accepting the filters. Cause contractors utilizing applicable heavy equipment to furnish proof of worker training on proper use of applicable heavy equipment cabs, such as turning on air conditioning prior to using the equipment.</li> <li>• Provide communication methods, such as two-way radios, for use in enclosed cabs.</li> </ul>						

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	<ul style="list-style-type: none"> <li>Require National Institute for Occupational Safety and Health (NIOSH)-approved half-face respirators equipped with minimum N-95 protection factor for use during worker collocation with surface disturbance activities, as required per the hazard assessment process.</li> <li>Cause employees to be medically evaluated, fit-tested, and properly trained on the use of the respirators, and implement a full respiratory protection program in accordance with the applicable Cal/OSHA Respiratory Protection Standard (8 CCR 5144).</li> <li>Provide separate, clean eating areas with hand-washing facilities.</li> <li>Install equipment inspection stations at each construction equipment access/egress point. Examine construction vehicles and equipment for excess soil material and clean, as necessary, before equipment is moved off-site.</li> <li>Train workers to recognize the symptoms of Valley Fever, and to promptly report suspected symptoms of work-related Valley Fever to a supervisor.</li> <li>Work with a medical professional to develop a protocol to medically evaluate employees who develop symptoms of Valley Fever.</li> <li>Work with a medical professional, in consultation with the Los Angeles County Public Health, to develop an educational handout for on-site workers and surrounding residents within three miles of the project site, and include the following information on</li> </ul>						

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	<p>Valley Fever: what are the potential sources/causes, what are the common symptoms, what are the options or remedies available should someone be experiencing these symptoms, and where testing for exposure is available. Prior to construction permit issuance, this handout shall have been created by the project operator and reviewed by the project operator and reviewed by the Development Services Director. No less than 30 days prior to any work commencing, this handout shall be mailed to all existing residences within a specified radius of the project boundaries as determined by the Development Services Director. The radius shall not exceed three miles and is dependent upon the location of the project site.</p> <ul style="list-style-type: none"> <li>• When possible, position workers upwind or crosswind when digging a trench or performing other soil-disturbing tasks.</li> <li>• Prohibit smoking at the worksite outside of designated smoking areas; designated smoking areas will be equipped with handwashing facilities.</li> <li>• Post warnings on-site and consider limiting access to visitors, especially those without adequate training and respiratory protection.</li> <li>• Audit and enforce compliance with relevant Cal OSHA health and safety standards on the job site.</li> </ul>						
<b>BIOLOGICAL RESOURCES</b>							
2	The applicant shall retain a qualified biologist who shall conduct burrowing owl protocol surveys on the project site in accordance with the procedures established by the California Department of Fish and	Prior to the issuance of any construction related permits (e.g., grading,	A copy of the burrowing owl protocol survey results shall be provided to the City of Lancaster	Development Services Department, Community Development Division			



Mit. No.	Mitigation Measure/ Conditions of Approval	Monitoring Milestone (Frequency)	Method of Verification	Party Responsible for Monitoring	VERIFICATION OF COMPLIANCE		
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	<p>Wildlife in the Staff Report on Burrowing Owl Mitigation prior to the issuance of any construction related permits. If burrowing owls are identified during the surveys, the applicant shall contact the California Department of Fish and Wildlife (CDFW) to develop appropriate mitigation/management procedures. The applicant shall submit a final Burrowing Owl Mitigation Plan to the City prior to issuing construction permits. The applicant shall implement all measures identified in the Burrowing Owl Mitigation Plan.</p> <p>At a minimum, the following shall occur:</p> <ul style="list-style-type: none"> <li>If burrowing owls are identified during the non-nesting season, a qualified biologist shall install one-way gates to relocate the owl to a suitable nearby property. Upon confirmation that the burrow is empty, the burrow shall be collapsed.</li> <li>In the event that a breeding pair or female owl with offspring are present at the burrow, a buffer zone of at least 50 feet shall be established around the burrow until the offspring have fledged and left the burrow. No work shall occur within the buffer zone. The specific buffer zone shall be established in coordination with CDFW.</li> </ul>	building, etc.).	Community Development Division.	(Planning)			
3	A nesting bird survey shall be conducted by a qualified biologist within 30 days prior to the start of construction/ground disturbing activities. If active bird nests are identified during the survey, the applicant shall contact the California Department of Fish and Wildlife to determine the appropriate mitigation/management requirements. Impacts to	Prior to the start of construction/ground disturbing activities and the issuance of any construction related permits.	A copy of the nesting bird preconstruction survey results shall be provided to the City of Lancaster.	Development Services Department, Community Development Division (Planning)			

Mit. No.	Mitigation Measure/ Conditions of Approval	Monitoring Milestone (Frequency)	Method of Verification	Party Responsible for Monitoring	VERIFICATION OF COMPLIANCE		
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	nesting birds will be avoided by delay of work or establishing a buffer of 500 feet around active raptor nests and 50 feet around other migratory bird species.						
<b>CULTURAL RESOURCES</b>							
4	The applicant shall retain a professional Native American monitor procured by the Fernandeno Tataviam Band of Mission Indians (FTBMI) to observe all clearing, grubbing, and grading operations within the proposed impact areas. If cultural resources are encountered, the Native American monitor will have the authority to request that ground-disturbing activities cease within 60 feet of discovery to assess and document potential finds in real time. One monitor will be required on-site for all ground-disturbing activities in areas designated through additional consultation. However, if ground-disturbing activities occur in more than one of the designated monitoring areas at the same time, then the parties can mutually agree to an additional monitor, to ensure that simultaneously occurring ground-disturbing activities receive thorough levels of monitoring coverage.	Prior to the start of construction activities.	A copy of the tribal monitoring contract shall be submitted to the City of Lancaster.	Development Services Department, Community Development Division (Planning)			
5	The Lead Agency and/or applicant shall in good faith, consult with the FTBMI on the disposition and treatment of any Tribal Cultural Resources encountered during all ground activities.	During construction/ground disturbing activities.	Notification of the City of Lancaster.	Development Services Department, Community Development Division (Planning)			
6	In the event that cultural resources are discovered during project activities, all work in the immediate vicinity of the find (within a 60-foot buffer) shall cease and a qualified archaeologist meeting Secretary of Interior standards shall be hired to assess the find. Work on the other portions of the project outside of the buffered area may continue during this assessment	During construction/ground disturbing activities.	Notification of the City of Lancaster.	Development Services Department, Community Development Division (Planning)			

Mit. No.	Mitigation Measure/ Conditions of Approval	Monitoring Milestone (Frequency)	Method of Verification	Party Responsible for Monitoring	VERIFICATION OF COMPLIANCE		
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	period. Additionally, the FTBMI and Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) shall be contacted regarding any pre-contact and/or historic-era finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment.						
7	If significant pre-contact and/or historic-era cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to the FTBMI and YSMN for review and comment, as detailed within Mitigation Measure No. 6. The archaeologist shall monitor the remainder of the project and implement the Plan accordingly.	During construction/ground disturbing activities.	A cultural resource Monitoring and Treatment Plan shall be submitted to FTBMI and YSMN if significant pre-contact and/or historic-era cultural resources are discovered and avoidance cannot be ensured.	Development Services Department, Community Development Division (Planning)			
8	If human remains or funerary objects are encountered during any activities associated with the project, work in the immediate vicinity (within a 100-foot buffer of the find) shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5 and that code enforced for the duration of the project.	During construction/ground disturbing activities and throughout life of the project.	The City of Lancaster and County Coroner shall be immediately notified in the event that human remains, potential human remains, or funerary objects are discovered during any activities associated with the project.	Development Services Department, Community Development Division (Planning)			
9	The Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) and the FTBMI shall be contacted, of any pre-contact and/or historic-era cultural resources discovered during project implementation, and be provided information regarding	During construction/ground disturbing activities.	Notification of the City of Lancaster, the FTBMI and the YSMN.	Development Services Department, Community Development Division			

Mit. No.	Mitigation Measure/ Conditions of Approval	Monitoring Milestone (Frequency)	Method of Verification	Party Responsible for Monitoring	VERIFICATION OF COMPLIANCE		
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	the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with the FTBMI and YSMN, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents FTBMI and YSMN for the remainder of the project, should the FTBMI and YSMN elect to place a monitor on-site.			(Planning)			
10	Any and all archaeological/cultural documents created as a part of the project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to FTBMI and YSMN. The Lead Agency and/or applicant shall, in good faith, consult with FTBMI and YSMN through the life of the project.	During and after construction.	Submittal of any archaeological/cultural documents created to the City of Lancaster, FTBMI, and YSMN.	Development Services Department, Community Development Division (Planning)			
<b>GEOLOGY AND SOILS</b>							
11	The applicant shall submit the required Construction Excavation Fee to the Antelope Valley Air Quality Management District (AVAQMD) prior to the issuance of any grading and/or construction permits. This includes compliance with all prerequisites outlined in District Rule 403, Fugitive Dust, including submission and approval of a Dust Control Plan, installation of signage and the completion of a successful onsite compliance inspection by an AVAQMD field inspector. Proof of compliance shall be submitted to the City.	Prior to issuance of grading and/or construction permits.	The applicant shall submit a Dust Control Plan to the Antelope Valley Air Quality Management District. The approved plan shall be submitted to the City of Lancaster.	Antelope Valley Air Quality Management District and Development Services Department, Community Development Division (Planning)			
12	A paleontological resource mitigation program shall be prepared by a qualified paleontologist prior to the issuance of any construction related permits. At a	Prior and during construction.	Submittal of the worker's environmental awareness program and results of the	Development Services Department, Community Development Division			

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	<p>minimum, the mitigation program shall include the following:</p> <ul style="list-style-type: none"> <li>A Worker's Environmental Awareness Program (WEAP) shall be prepared and presented to all field personnel to describe the types of fossils that may be found and the procedures to follow if any are encountered.</li> <li>Full time construction monitoring shall occur at all depths where alluvium is exposed and at depths greater than or equal to four feet below ground surface (bgs) where artificial fill is present. Full time monitoring may be reduced to spot-check monitoring at the discretion of the paleontologist if no intact and significant paleontological resources are encountered during the initial period of construction monitoring.</li> <li>Provide details about fossil collection, analysis, and preparation for permanent curation at an approved repository.</li> </ul>		monitoring to the City of Lancaster.	(Planning)			
<b>HAZARDS AND HAZARDOUS MATERIALS</b>							
13	The applicant shall have all non-compliant items discovered on the site and the dumped soil piles profiled (tested) to ensure proper disposal or potential reuse.	Prior to the start of construction/ground disturbing activities.	Submittal of the test results to the City of Lancaster.	Development Services Department, Community Development Division (Planning)			
<b>NOISE</b>							
14	Construction operations shall not occur between 8 p.m. and 7 a.m. on weekdays or Saturday or at any	During construction.	Field Inspection.	Development Services Department, Building			

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	time on Sunday. The hours of any construction-related activities shall be restricted to the periods and days permitted by local ordinance.			and Safety			
15	The on-site construction supervisor shall have the responsibility and authority to receive and resolve complaints. A clear appeal process to the owner shall be established prior to construction commencement that will allow for resolution of noise problems that cannot be immediately solved by the site supervisor.	Prior to construction/ during construction	Contact information for the on-site construction supervisor and a clear appeal process that will allow for reduction of noise problems shall be provided to the City of Lancaster.	Development Services Department, Building and Safety			
16	Electrically powered equipment shall be used instead of pneumatic or internal combustion power equipment, where feasible.	During construction.	Field Inspection.	Development Services Department, Building and Safety			
17	Material stockpiles and mobile equipment staging, parking and maintenance areas shall be located as far away as practicable from noise sensitive receptors.	During construction.	Field Inspection.	Development Services Department, Building and Safety			
18	The use of noise producing signals, including horns, whistles, alarms, and bells shall be for safety warning purposes only.	During construction.	Field Inspection.	Development Services Department, Building and Safety			
19	No project-related public address or music system shall be audible at any adjacent receptor.	During construction.	Field Inspection.	Development Services Department, Building and Safety			
20	All noise producing construction equipment and vehicles using internal combustion engines shall be equipped with mufflers, air-inlet silencers where appropriate, and other shrouds, shields, or other noise-reducing features in good operating condition that meets or exceeds original factory specifications. Mobile or fixed "package" equipment (e.g., arc-welders, air compressors, etc.) shall be equipped with	During construction.	Field inspection.	Development Services Department, Community Building and Safety			

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	shrouds and noise controls features that are readily available for the type of equipment.						
21	The proposed development shall incorporate design features recommended in the noise study, or the equivalent, to ensure noise impacts upon occupancy remain less than significant. These design features shall be indicated on the building plans.	Prior to issuance of building permits.	Noise mitigation design features shall be identified on the building plans.	Development Services Department, Community Development Division (Planning)			

**DEPARTMENT OF TRANSPORTATION**  
DISTRICT 7- OFFICE OF REGIONAL PLANNING  
100 S. MAIN STREET, SUITE 100  
LOS ANGELES, CA 90012  
PHONE (213) 266-3574  
FAX (213) 897-1337  
TTY 711  
www.dot.ca.gov



*Making Conservation  
a California Way of Life.*

November 9, 2022

Jocelyn Swain, Senior Planner  
City of Lancaster  
44933 Fern Avenue  
Lancaster, CA 93534

RE: Pacific Topaz Housing Tract Project –  
Mitigated Negative Declaration (MND)  
SCH# 2022100369  
GTS# 07-LA-2022-04100  
Vic. SR 14 and SR 138

Dear Jocelyn Swain,

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the above referenced project. The Proposed Project includes the subdivision of approximately 37 gross acres for the construction and occupancy of 207 single-family residential lots. The minimum lot size would be 4,250square feet and the development would also provide approximately 5.89 acres of open space including paseos, recreational areas and green belts.

The nearest State facilities to the proposed project are State Route 14 and State Route 138. After reviewing the MND, Caltrans has the following comments:

Currently the project is designed in a way that induces a high number of vehicle trips per household due to being an exclusively residential, car-oriented development. The Lead Agency is encouraged to integrate transportation and land uses in a way that reduces VMT and Greenhouse Gas (GHG) emissions by facilitating the provision of more proximate goods and services to shorten trip lengths and achieve a high level of non-motorized travel and transit use. Caltrans recommends the following to more effectively address the significant VMT that this project may create as currently proposed:

- 1) Provide for a mixture of land use types within the Project's new zoning area to allow for adaptive reuse. This can allow goods, services, and jobs to be created closer to where the project's residents live.
- 2) Reduce the amount of parking whenever possible, as abundant car parking enables and encourages driving. Research looking at the relationship between land-use, parking, and transportation indicates that the amount of car parking supplied can undermine a project's ability to encourage public transit and active modes of transportation. For any project to



better promote public transit and reduce vehicle miles traveled, we recommend the implementation of Transportation Demand Management (TDM) strategies as an alternative to building too much parking.

- 3) Improve connections to existing active transportation and transit infrastructure. This can be done with robust signage, wayfinding, safety improvements, and human scale amenities. Additionally, the most effective methods to reduce pedestrian and bicyclist exposure to vehicles is through physical design and geometrics. These methods include the construction of physically separated facilities such as Class IV bike lanes, wide sidewalks, pedestrian refuge islands, landscaping, street furniture, and reductions in crossing distances through roadway narrowing.

Finally, any transportation of heavy construction equipment and/or materials which requires use of oversized-transport vehicles on State highways will need a Caltrans transportation permit. We recommend large size truck trips be limited to off-peak commute periods.

If you have any questions, please contact project coordinator Anthony Higgins, at [anthony.higgins@dot.ca.gov](mailto:anthony.higgins@dot.ca.gov) and refer to GTS# 07-LA-2022-04100.

Sincerely,



Miya Edmonson

LDR Branch Chief

cc: State Clearinghouse



COMMUNITY  
DEVELOPMENT

## City of Lancaster Initial Study

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1. **Project title and File Number:** Pacific Topaz  
Tentative Tract Map No. 53642  
Conditional Use Permit No. 22-08
2. **Lead agency name and address:** City of Lancaster  
Development Services Department  
Community Development Division  
44933 Fern Avenue  
Lancaster, California 93534
3. **Contact person and phone number:** Jocelyn Swain, Senior Planner  
City of Lancaster  
Development Services Department  
(661) 723-6100
4. **Location:** ±37 gross acres at the southeast corner of  
60<sup>th</sup> Street West and Avenue K-4  
(APNs: 3204-009-026, 3204-009-079,  
3204-009-081)  
(see Figure 1)
5. **Applicant name and address:** Pacific Communities Builder, Inc.  
1000 Dove Street, Ste 100  
Newport Beach, CA 92660
6. **General Plan designation:** Urban Residential (UR)
7. **Zoning:** R-7,000 (Single family residential,  
minimum lot size 7,000 square feet)
8. **Description of project:**

The proposed project is a residential planned development for an age restricted community. The tentative tract map (TTM) would allow for the subdivision of approximately 37 acres into 207 single family residential lots. All of the residences are proposed to be single story. A conditional use permit has been requested to allow for the smaller lot sizes than would be allowed under the R-7,000 zoning in exchange for providing a minimum of 15% of the project site for public open space. These lots would be approximately 4,250 square feet.



**Figure 1, Project Location Map**



The proposed development would provide approximately 5.89 acres or 15.92% of the site as common open space. This open space would consist of a park/community garden with walking trails through the center of the site, recreational areas and a community building. There is also a drainage basin located at the northwest corner of the project site which would provide additional open space areas. The entire subdivision would be fenced. Access to the subdivision would be from Avenue K-8 and all roads within the subdivision would be private. (Figure 2)

## 9. Surrounding land uses and setting:

The project site is located in the western portion of the City of Lancaster which is rapidly developing. The property surrounding the project site is a mix of vacant, undeveloped desert and residential housing tracts. Quartz Hill High School is located approximately a half mile to the south at the southwest corner of 60<sup>th</sup> Street West and Avenue L and the State Prison is located approximately 1.5 miles to the north. Table 1 provides a summary of the zoning and land uses of the immediately surrounding property.

**Table 1**  
**Zoning/Land Use Information**

Direction	Zoning		Land Use
	City	County	
North	R-7,000	N/A	Residential subdivision
East	R-7,000	N/A	Vacant
South	R-7,000	N/A	Avenue K-8 followed by vacant land and a residential subdivision
West	R-7,000	N/A	Residential subdivision

## 10. Other public agencies whose approval is required (e.g. permits, financing approval, or participation agreement.)

Approvals from other public agencies for the proposed project include, but are not limited to, the following:

- California Department of Fish and Wildlife
- Southern California Edison
- Antelope Valley Air Quality Control District
- Los Angeles County Waterworks District 40
- Los Angeles County Sanitation District 14
- Los Angeles County Fire Department

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

In accordance with Assembly Bill (AB) 52, consultation letters for the proposed project were sent to three individuals associated with three tribes which have requested to be included. These letters were mailed on June 9, 2022 via certified return receipt and included copies of the site plan/grading plan, aerial photograph, cultural resources report and paleontological resources report. Table 2 identifies the tribes, the person to whom the letter was directed, and the date the letter was received.

**Table 2**  
**Tribal Notification**

<b>Tribe</b>	<b>Person/Title</b>	<b>Date Received</b>
Gabrieleno Band of Mission Indians – Kizh Nation	Andrew Salas / Chairman	6/15/22
Yuhaaviatam of San Manuel Nation	Ryan Nordness / Cultural Resource Analyst	6/13/22
Fernandeno Tataviam Band of Mission Indians	Jairo Avila / Tribal Historic and Cultural Preservation Officer	6/13/22

Responses were received from both the Yuhaaviatam of San Manuel Nation and the Fernandeno Tataviam Band of Mission Indians. While neither tribe had specific concerns associated with the proposed project, the project site is known to be located in a culturally sensitive area. As such, both tribes requested mitigation measures to address the potential of discovery of previously unknown resources during construction and tribal monitoring. These mitigation measures have been included in the cultural resources section.



ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

<input type="checkbox"/>	Aesthetics	<input type="checkbox"/>	Agriculture and Forestry Resources	<input type="checkbox"/>	Air Quality
<input type="checkbox"/>	Biological Resources	<input type="checkbox"/>	Cultural Resources	<input type="checkbox"/>	Energy
<input type="checkbox"/>	Geology/Soils	<input type="checkbox"/>	Greenhouse Gas Emissions	<input type="checkbox"/>	Hazards & Hazardous Materials
<input type="checkbox"/>	Hydrology/Water Quality	<input type="checkbox"/>	Land Use/Planning	<input type="checkbox"/>	Mineral Resources
<input type="checkbox"/>	Noise	<input type="checkbox"/>	Population/Housing	<input type="checkbox"/>	Public Services
<input type="checkbox"/>	Recreation	<input type="checkbox"/>	Transportation	<input type="checkbox"/>	Tribal Cultural Resources
<input type="checkbox"/>	Utilities/Service Systems	<input type="checkbox"/>	Wildfire	<input type="checkbox"/>	Mandatory Findings of Significance

DETERMINATION: On the basis of this initial evaluation:

- ☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

  
Jocelyn Swain, Senior Planner

10/18/22  
Date

## EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Use. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are “Less Than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.



- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
  - a. The significance criteria or threshold, if any, used to evaluate each question; and
  - b. The mitigation measure identified, if any, to reduce the impact to less than significance.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
I. <u>AESTHETICS</u> . Except as provided in Public Resources Code Section 21099, would the project:				
a) Have a substantial adverse effect on a scenic vista?				X
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings with a state scenic highway?				X
c) In non-urbanized areas, substantially degrade the existing visual character or quality or public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?			X	
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views of the area?			X	

- a. The City of Lancaster General Plan identifies five scenic areas in the City and immediately surrounding area (LMEA Figure 12.0-1). Views of these scenic areas are not generally visible from the project site or the immediately surrounding roadways. However, views of the open desert and the mountains surrounding the Antelope Valley are available from the project site and nearby roadways (60<sup>th</sup> Street West, Avenue L, Avenue K, etc.). The proposed project consists of the subdivision of the subject property into 207 residential lots and a couple of open space/drainage basin lots. These residential lots will be approximately 4,250 square feet in size and the subdivision will be gated. The subdivision will also contain at least 15% of land area as useable open space/recreation space for the residents of the community. While these lots will be smaller than other lots in the general area, the appearance of the subdivision will be similar. With implementation of the proposed project, the views would not change and would continue to be available from the roadways and project site. Therefore, no impacts would occur.
- b. The project site is not located along any designated State Scenic Highways. There are no State designated scenic routes or highways within the City of Lancaster. Additionally, there are no trees, rock outcroppings, or buildings on the project site. Therefore, no impacts would occur.
- c. The proposed project is consistent with the zoning code and general plan designation for the project site. The proposed project would also be in conformance with the City's Design Guidelines which were adopted on December 8, 2009 (and updated on March 30, 2010). These

guidelines provide the basis to achieve quality design for all development within the City. Therefore, impacts would be less than significant.

- d. The ambient lighting in the vicinity of the project site is moderate due to street lights, vehicle headlights, security lighting, and residential lighting. Operational lighting from Quartz Hill High School and the prison can be seen in the distance. Light and glare would be generated from the proposed project in the form of additional street lighting, parking area/community building lighting, residential lighting and motor vehicles. All lighting within the proposed development would be shielded and focused downward onto the project site. Additionally, the proposed development would not produce substantial amounts of glare as the development would be constructed primarily from non-reflective materials. Therefore, impacts would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
II. <u>AGRICULTURE AND FORESTRY RESOURCES.</u> In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined in Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?				X
d) Result in the loss of forest land or conversion of forest land to non-forest use?				X
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?				X

- a. The California Department of Conservation, Division of Land Resource Protection, Farmland Mapping and Monitoring Program (FMMP), tracks and categorizes land with respect to agricultural resources. Land is designated as one of the following and each has a specific definition: Prime Farmland, Farmland of Statewide Importance, Unique Farmland, Farmland of Local Importance, Grazing Land, Urban and Built-Up Land, Other Land, and Water.

The maps for each county are updated every two years. The Los Angeles County Farmland Map was last updated in 2018. Based on these maps, the project site is designated as Grazing Land. Grazing land is land on which the existing vegetation is suited to the grazing of livestock. As the project site is not designated as farmland of importance by the State nor is it currently utilized for agricultural purposes, no impacts to agricultural resources would occur.

- b. The project site is zoned as R-7,000 (single family residential, minimum lot size 7,000 square feet) which does not allow for agricultural uses. Additionally, the project site is located in the central-western portion of the City which is development with many residential subdivisions and vacant land. The surrounding property is zoned R-7,000 which does not allow for agricultural uses. The project site is not under agricultural production and none of the surrounding properties are under agricultural production. Additionally, the project site and surrounding area are not subject to a Williamson Act contract. Therefore, no impacts would occur.
- c-d. According to the City of Lancaster's General Plan, there are no forests or timberlands located within the City of Lancaster. Therefore, the proposed project would not result in the rezoning of forest or timberland and would not cause the loss of forest land or the conversion of forest land to non-forest land. Therefore, no impacts would occur.
- e. See responses to Items IIa-d.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
III. <u>AIR QUALITY</u> . Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan?				X
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?			X	
c) Expose sensitive receptors to substantial pollutant concentrations?		X		
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?			X	

- a. Development proposed under the City's General Plan would not create air emissions that exceed the Air Quality Management Plan (GPEIR pgs. 5.5-21 to 5.5-22). The proposed project is consistent with the General Plan and Zoning Code. Therefore, the proposed project would not conflict with or obstruct implementation of the Air Quality Management Plan and no impacts would occur.
- b. An air quality analysis was prepared for the proposed project by RK Engineering Group, Inc. and documented in a report entitled "Tract 53642 Pacific Topaz Air Quality & GHG Impact Study, City of Lancaster, California" and dated December 9, 2021. This report documents both the construction and operational emissions associated with the development.

As part of this study the anticipated construction and operational air emissions were calculated and compared to the thresholds established by the Antelope Valley Air Quality Management District (AVAQMD). These thresholds are shown in Table 3.

**Table 3**  
**AVAQMD Air Quality Thresholds**

Criteria Pollutant	Daily Threshold (Pounds/day)	Annual Threshold (Tons/year)
Carbon Monoxide (CO)	548	100
Oxides of Nitrogen (NO <sub>x</sub> )	137	25
Volatile Organic Compounds (VOC)	137	25
Oxides of Sulfur (SO <sub>x</sub> )	137	25
Particulate Matter (PM <sub>10</sub> )	82	15
Particulate Matter (PM <sub>2.5</sub> )	65	12
Hydrogen Sulfide (H <sub>2</sub> S)	54	10
Lead (Pb)	3	0.6

### Construction

The construction of the proposed project is anticipated to start in 2022/2023 and last 30 months. Construction phases would consist of site preparation, grading, building construction, paving and architectural coating. Additionally, it is anticipated that approximately 135,611 cubic yards of dirt would be imported during the grading phase. The construction emissions were estimated using CalEEMod and Tables 4 and 5 summarize the anticipated construction emissions in tons/year and pounds/day. These tables show that the construction emissions for the proposed project are less than the thresholds established by the air district and therefore, are less than significant.

**Table 4**  
**Annual Construction Air Quality Emissions (tons/year)**

Year	VOC	NO <sub>x</sub>	CO	SO <sub>x</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
2022	0.27	3.70	2.32	0.01	0.83	0.38
2023	0.30	2.26	3.08	0.01	0.40	0.17
2024	1.59	1.63	2.37	0.01	0.28	0.12
Maximum <sup>1</sup>	1.59	3.70	3.08	0.01	0.83	0.38
Threshold	25	25	100	25	15	12
Exceeds Threshold?	No	No	No	No	No	No
Notes:						
1. Maximum annual emission includes both on- and off-site emissions.						

Once construction complete and the development is occupied, air emissions would continue to occur from resident vehicle trips, building and landscaping maintenance and energy consumption associated with heating and cooling. These emissions are estimated in Tables 6 and 7 for annual and daily emissions. Emissions associated with the occupation of the proposed development would be less than significant.

**Table 5**  
**Daily Construction Air Quality Emissions (pounds/day)**

Activity	VOC	NO <sub>x</sub>	CO	SO <sub>x</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Site Preparation	3.23	33.12	20.24	0.04	21.42	11.63
Grading	5.00	88.26	40.86	0.24	16.56	6.93
Building Construction	2.58	19.30	24.83	0.06	3.28	1.45
Paving	1.29	9.55	15.01	0.02	0.59	0.46
Architectural Coating	68.72	1.30	3.08	0.01	0.47	0.17
Maximum <sup>1</sup>	68.72	88.26	40.86	0.24	21.42	11.63
Threshold	137	137	548	137	82	65
Exceeds Threshold?	No	No	No	No	No	No
Notes: 1. Maximum annual emission includes both on- and off-site emissions.						

**Table 6**  
**Annual Operational Air Quality Emissions (tons/year)**

Source	VOC	NO <sub>x</sub>	CO	SO <sub>x</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Area	1.05	0.10	1.64	0.00	0.02	0.02
Energy	0.02	0.16	0.07	0.00	0.01	0.01
Mobile	0.39	0.38	3.88	0.01	0.87	0.24
Total <sup>1</sup>	1.47	0.64	5.59	0.01	0.90	0.26
Threshold	25	25	100	25	15	12
Exceeds Threshold?	No	No	No	No	No	No
Notes: 1. Maximum annual emission includes both on- and off-site emissions.						

**Table 7**  
**Daily Operational Air Quality Emissions (pounds/day)**

Source	VOC	NO <sub>x</sub>	CO	SO <sub>x</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Area	6.22	2.18	18.67	0.01	0.26	0.26
Energy	0.10	0.88	0.37	0.01	0.07	0.07
Mobile	2.55	2.35	24.38	0.05	5.54	1.50
Total <sup>1</sup>	8.87	5.40	43.42	0.07	5.87	1.83
Threshold	137	137	548	137	82	65
Exceeds Threshold?	No	No	No	No	No	No
Notes: 1. Maximum annual emission includes both on- and off-site emissions.						

An analysis of toxic air contaminants, including diesel particulate matter, is required by the AVAQMD if the proposed project is one of five types of projects and is located within a



specified distance of a sensitive receptor. The types of projects that require this study are 1) industrial projects within 1,000 feet of a sensitive receptor; 2) a distribution center; 3) a major transportation project; 4) a dry cleaner using perchloroethylene; or 5) a gasoline dispensing facility. The proposed project does not contain any of these types of uses and therefore, a health risk assessment was not prepared.

- c. The properties immediately adjacent to the project site are a mix of residential subdivisions and vacant, undeveloped desert. The closest sensitive receptors are the single-family residences immediately to the north of the project site. Additionally, Quartz Hill High School is located approximately 0.5 miles south of the project site. As discussed in Item III.b, the proposed project would generate air emissions during both construction and operation. However, these air emissions would not exceed the thresholds established by the AVAQMD nor would the traffic generated by the proposed project significantly impact nearby roadways or intersections. As such, the proposed project would not expose sensitive receptors to substantial pollutant concentrations.

However, since the construction of the proposed project would result in the disturbance of the soil, it is possible individuals could be exposed to Valley Fever. Valley Fever or coccidioidomycosis, is primarily a disease of the lungs caused by the spores of the *Coccidioides immitis* fungus. The spores are found in soils, become airborne when the soil is disturbed, and are subsequently inhaled into the lungs. After the fungal spores have settled in the lungs, they change into a multicellular structure called a spherule. Fungal growth in the lungs occurs as the spherule grows and bursts, releasing endospores, which then develop into more spherules.

Valley Fever is not contagious, and therefore, cannot be passed on from person to person. Most of those who are infected would recover without treatment within six months and would have a life-long immunity to the fungal spores. In severe cases, especially in those patients with rapid and extensive primary illness, those who are at risk for dissemination of disease, and those who have disseminated disease, antifungal drug therapy is used.

Nearby sensitive receptors as well as workers at the project site could be exposed to Valley Fever from fugitive dust generated during construction. There is the potential that cocci spores would be stirred up during excavation, grading, and earth-moving activities, exposing construction workers and nearby sensitive receptors to these spores and thereby to the potential of contracting Valley Fever. However, implementation of Mitigation Measures 11 (see Geology and Soils) which requires the project operator to implement dust control measures in compliance with AVAQMD Rule 403, and implementation of Mitigation Measure 1, below, which would provide personal protective respiratory equipment to construction workers and provide information to all construction personnel and visitors about Valley Fever, the risk of exposure to Valley Fever would be minimized to a less than significant level.

### Mitigation Measures

1. Prior to ground disturbance activities, the project operator shall provide evidence to the Development Services Director that the project operator and/or construction manager has developed a "Valley Fever Training Handout", training, and schedule of sessions for education to be provided to all construction personnel. All evidence of the training session materials, handout(s) and schedule shall be submitted to the Development Services Director within 24 hours of the first training session. Multiple training sessions may be conducted if

different work crews will come to the site for different stages of construction; however, all construction personnel shall be provided training prior to beginning work. The evidence submitted to the Development Services Director regarding the “Valley Fever Training Handout” and Session(s) shall include the following:

- A sign-in sheet (to include the printed employee names, signature, and date) for all employees who attended the training session.
- Distribution of a written flier or brochure that includes educational information regarding the health effects of exposure to criteria pollutant emissions and Valley Fever.
- Training on methods that may help prevent Valley Fever infection.
- A demonstration to employees on how to use personal protective equipment, such as respiratory equipment (masks), to reduce exposure to pollutants and facilitate recognition of symptoms and earlier treatment of Valley Fever. Where respirators are required, the equipment shall be readily available and shall be provided to employees for use during work. Proof that the demonstration is included in the training shall be submitted to the county. This proof can be via printed training materials/agenda, DVD, digital media files, or photographs.

The project operator also shall consult with the Los Angeles County Public Health to develop a Valley Fever Dust Management Plan that addresses the potential presence of the *Coccidioides* spore and mitigates for the potential for *Coccidioidomycosis* (Valley Fever). Prior to issuance of permits, the project operator shall submit the Plan to the Los Angeles County Public Health for review and comment. The Plan shall include a program to evaluate the potential for exposure to Valley Fever from construction activities and to identify appropriate safety procedures that shall be implemented, as needed, to minimize personnel and public exposure to potential *Coccidioides* spores. Measures in the Plan shall include the following:

- Provide HEP-filters for heavy equipment equipped with factory enclosed cabs capable of accepting the filters. Cause contractors utilizing applicable heavy equipment to furnish proof of worker training on proper use of applicable heavy equipment cabs, such as turning on air conditioning prior to using the equipment.
- Provide communication methods, such as two-way radios, for use in enclosed cabs.
- Require National Institute for Occupational Safety and Health (NIOSH)-approved half-face respirators equipped with minimum N-95 protection factor for use during worker collocation with surface disturbance activities, as required per the hazard assessment process.
- Cause employees to be medically evaluated, fit-tested, and properly trained on the use of the respirators, and implement a full respiratory protection program in accordance with the applicable Cal/OSHA Respiratory Protection Standard (8 CCR 5144).
- Provide separate, clean eating areas with hand-washing facilities.
- Install equipment inspection stations at each construction equipment access/egress point.

Examine construction vehicles and equipment for excess soil material and clean, as necessary, before equipment is moved off-site.

- Train workers to recognize the symptoms of Valley Fever, and to promptly report suspected symptoms of work-related Valley Fever to a supervisor.
- Work with a medical professional to develop a protocol to medically evaluate employees who develop symptoms of Valley Fever.
- Work with a medical professional, in consultation with the Los Angeles County Public Health, to develop an educational handout for on-site workers and surrounding residents within three miles of the project site, and include the following information on Valley Fever: what are the potential sources/ causes, what are the common symptoms, what are the options or remedies available should someone be experiencing these symptoms, and where testing for exposure is available. Prior to construction permit issuance, this handout shall have been created by the project operator and reviewed by the project operator and reviewed by the Development Services Director. No less than 30 days prior to any work commencing, this handout shall be mailed to all existing residences within a specified radius of the project boundaries as determined by the Development Services Director. The radius shall not exceed three miles and is dependent upon the location of the project site.
- When possible, position workers upwind or crosswind when digging a trench or performing other soil-disturbing tasks.
- Prohibit smoking at the worksite outside of designated smoking areas; designated smoking areas will be equipped with handwashing facilities.
- Post warnings on-site and consider limiting access to visitors, especially those without adequate training and respiratory protection.
- Audit and enforce compliance with relevant Cal OSHA health and safety standards on the job site.

- d. Construction of the proposed project is not anticipated to produce significant objectionable odors. Construction equipment may generate some odors, but these odors would be similar to those produced by vehicles traveling along 60<sup>th</sup> Street West, Avenue L, and Avenue K. Most objectionable odors are typically associated with industrial projects involving the use of chemicals, solvents, petroleum products and other strong-smelling elements used in manufacturing processes, as well as sewage treatment facilities and landfills. These types of uses are not part of the proposed project nor are they allowed within the R-7,000 zone. The proposed project is a residential development and would only generate odors typically associated with residential uses. Therefore, impacts would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
IV. <u>BIOLOGICAL RESOURCES</u> . Would the project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?		X		
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?				X
c) Have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?				X
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				X
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?				X

- a. A biological resources survey was conducted for the project site by RCA Associates, Inc. and documented in a report entitled "General Biological Resources Assessment, Pacific Topaz (TTM 53642) Lancaster, Los Angeles County, California" dated August 5, 2021.

A survey of the project site was conducted on August 2, 2021 by walking meandering transects throughout the property. During the surveys, all plants and animal species detected were recorded. These species are listed in Tables 8 (plants) and 9 (animals).

**Table 8**  
**Observed Plant Species**

Asian mustard ( <i>Brassica tournefortii</i> )	Rubber rabbitbrush ( <i>Ericameria nauseosa</i> )	Desert bird of paradise ( <i>Caesalpinia gilliesii</i> )
Fiddleneck ( <i>Ansickia tessellata</i> )	Kelch grass ( <i>schismus barbatus</i> )	Dove weed ( <i>Croton setigerus</i> )
Cheatgrass ( <i>Bromus tectorum</i> )	Flatspine bur ragweed ( <i>Ambrosia acanthicarpa</i> )	Tumbleweed ( <i>Kali tragus</i> ssp. <i>Tragus</i> )
Winterfat ( <i>Krascheninnikovia ceratoides</i> subsp. <i>lanata</i> )	Four-wing saltbush ( <i>Atriplex canescens</i> )	Sonoran sandmat ( <i>Euphorbia micromera</i> )
Brownplume wire lettuce ( <i>Stephanomeria pauciflora</i> )	Stinkwort ( <i>Dittrichia graveolens</i> )	

**Table 9**  
**Observed Animal Species**

Common raven ( <i>Corvus corax</i> )	Coyote ( <i>Canis latrans</i> )	Rock pigeon ( <i>Columba livia</i> )
Black-tailed jackrabbit ( <i>Lepus californicus</i> )	House finch ( <i>Haemorrhous mexicanus</i> )	California ground squirrel ( <i>Otospermophilus beecheyi</i> )
Desert cottontail ( <i>Sylvilagus audubonni</i> )		

No sensitive or special status plant or animal species were observed during the surveys. It is possible that burrowing owls could occupy the project site prior to the start of construction as there is suitable burrowing owl habitat on site. However, there is no habitat for Mojave ground squirrels, desert tortoises, or Swainson's hawk on the project site and no Joshua trees are present. Additionally, while there are no trees on the project site, there are some shrubs which could provide habitat for nesting birds. In order to ensure that any impacts to nesting birds or burrowing owls are less than significant, the following mitigation measures are required. With implementation of the identified mitigation measures, impacts would be less than significant.

#### Mitigation Measures

2. The applicant shall retain a qualified biologist who shall conduct burrowing owl protocol surveys on the project site in accordance with the procedures established by the California Department of Fish and Wildlife in the Staff Report on Burrowing Owl Mitigation prior to the issuance of any construction related permits. If burrowing owls are identified during the surveys, the applicant shall contact the California Department of Fish and Wildlife (CDFW) to develop appropriate mitigation/management procedures. The applicant shall submit a final Burrowing Owl Mitigation Plan to the City issuing construction permits. The applicant shall implement all measures identified in the Burrowing Owl Mitigation Plan.

At a minimum, the following shall occur:

- If burrowing owls are identified during the non-nesting season, a qualified biologist shall install one-way gates to relocate the owl to a suitable nearby property. Upon confirmation that the burrow is empty, the burrow shall be collapsed.
  - In the event that a breeding pair or female owl with offspring are present at the burrow, a buffer zone of at least 50 feet shall be established around the burrow until the offspring have fledged and left the burrow. No work shall occur within the buffer zone. The specific buffer zone shall be established in coordination with CDFW.
3. A nesting bird survey shall be conducted by a qualified biologist within 30 days prior to the start of construction/ground disturbing activities. If active bird nests are identified during the survey, the applicant shall contact the California Department of Fish and Wildlife to determine the appropriate mitigation/management requirements. Impacts to nesting birds will be avoided by delay of work or establishing a buffer of 500 feet around active raptor nests and 50 feet around other migratory bird species.
- b. The project site does not contain any riparian habitat or other sensitive natural communities identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service. As such, no impacts would occur and no mitigation measures are required.
- c. There are no State or federally protected wetlands on the project site as defined by Section 404 of the Clean Water Act. Therefore, no impacts would occur.
- d. The project site is not part of an established migratory wildlife corridor. Therefore, no impacts would occur.
- e. The proposed project would not conflict with any local policies or ordinances, such as a tree preservation policy, protecting biological resources. The proposed project would be subject to the requirements of Ordinance No. 848, Biological Impact Fee, which requires the payment of \$770/acre to help offset the cumulative loss of biological resources in the Antelope Valley as a result of development. This fee is required of all projects occurring on previously undeveloped land regardless of the biological resources present and is utilized to enhance biological resources through education programs and the acquisition of property for conservation. Therefore, no impacts would occur.
- f. There are no Habitat Conservation Plans, Natural Community Conservation Plans, or other approved local, regional, or State habitat conservation plans which are applicable to the project site. The West Mojave Coordinated Habitat Conservation Plan only applies to federal land, specifically land owned by the Bureau of Land Management. In conjunction with the Coordinated Management Plan, a Habitat Conservation Plan (HCP) was proposed which would have applied to all private properties within the Plan Area. However, this HCP was never approved by the California Department of Fish and Wildlife nor was it adopted by the local agencies (counties and cities) within the Plan Area. As such, there is no HCP that is applicable to the project site and no impacts would occur.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
V. <u>CULTURAL RESOURCES</u> . Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource pursuant to §15064.5?				X
b) Cause a substantial adverse change in the significance of an archaeological resources pursuant to §15064.5?		X		
c) Disturb any human remains, including those interred outside of dedicated cemeteries?				X

- a-c. A cultural resource survey was conducted for the project site by Applied EarthWorks, Inc. and documented in a report entitled “Phase I Cultural Resource Assessment for the Pacific Topaz Tract 53642 Project, Lancaster, Los Angeles County, California” dated November 2021. This report included a literature and records search at the South Central Coastal Information Center and a field survey.

The records search indicated that a total of 46 cultural resource investigations have been conducted within a mile of the project site. Of these studies, four included portions of the project site. These cultural resource investigations identified 12 cultural resources including two built environment resources, 1 archaeological site with both prehistoric and historic components; six historic period archaeological sites; one prehistoric archaeological site and two prehistoric isolates. None of these resources are located on the project site.

The project site was surveyed on October 26, 2021 utilizing north-south transects spaced approximately 10 meters apart. No cultural resources were identified on the project site during the survey. No human remains, including those interred outside of formal cemeteries, were identified on the project site. Therefore, no impacts would occur.

While no specific tribal or cultural resources were identified during the AB 52 process, the Fernandeno Tataviam Band of Mission Indians and the Yuhaaviatam of San Manuel Nation have identified the area as culturally sensitive and have requested mitigation measures to be included in the event that previously unknown resources are discovered during construction activities and to ensure that a tribal monitor is present during ground disturbing activities. These mitigation measures have been included. With incorporation of the mitigation measures, impacts to cultural resources would be less than significant.

Mitigation Measures

4. The applicant shall retain a professional Native American monitor procured by the Fernandeano Tataviam Band of Mission Indians to observe all clearing, grubbing, and grading operations within the proposed impact areas. If cultural resources are encountered, the Native American monitor will have the authority to request that ground-disturbing activities cease within 60 feet of discovery to assess and document potential finds in real time. One monitor will be required on-site for all ground-disturbing activities in areas designated through additional consultation. However, if ground-disturbing activities occur in more than one of the designated monitoring areas at the same time, then the parties can mutually agree to an additional monitor, to ensure that simultaneously occurring ground-disturbing activities receive thorough levels of monitoring coverage.
5. The Lead Agency and/or applicant shall, in good faith, consult with the FTBMI on the disposition and treatment of any Tribal Cultural Resource encountered during all ground disturbing activities.
6. In the event that cultural resources are discovered during project activities, all work in the immediate vicinity of the find (within a 60-foot buffer) shall cease and a qualified archaeologist meeting Secretary of Interior standards shall be hired to assess the find. Work on the other portions of the project outside of the buffered area may continue during this assessment period. Additionally, the Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) shall be contacted, as detailed within TCR-1, regarding any pre-contact and/or historic-era finds and be provided information after the archaeologist makes his/her initial assessment of the nature of the find, so as to provide Tribal input with regards to significance and treatment.
7. If significant pre-contact and/or historic-era cultural resources, as defined by CEQA (as amended, 2015), are discovered and avoidance cannot be ensured, the archaeologist shall develop a Monitoring and Treatment Plan, the drafts of which shall be provided to YSMN for review and comment, as detailed within Mitigation Measure No. 6. The archaeologist shall monitor the remainder of the project and implement the Plan accordingly.
8. If human remains or funerary objects are encountered during any activities associated with the project, work in the immediate vicinity (within a 100-foot buffer of the find) shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5 and that code enforced for the duration of the project.
9. The Yuhaaviatam of San Manuel Nation Cultural Resources Department (YSMN) shall be contacted, as detailed in CR-1, of any pre-contact and/or historic-era cultural resources discovered during project implementation, and be provided information regarding the nature of the find, so as to provide Tribal input with regards to significance and treatment. Should the find be deemed significant, as defined by CEQA (as amended, 2015), a cultural resources Monitoring and Treatment Plan shall be created by the archaeologist, in coordination with YSMN, and all subsequent finds shall be subject to this Plan. This Plan shall allow for a monitor to be present that represents YSMN for the remainder of the project, should YSMN elect to place a monitor on-site.



10. Any and all archaeological/cultural documents created as a part of the project (isolate records, site records, survey reports, testing reports, etc.) shall be supplied to the applicant and Lead Agency for dissemination to YSMN. The Lead Agency and/or applicant shall, in good faith, consult with YSMN throughout the life of the project.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
VI. <u>ENERGY</u> . Would the project:				
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?			X	
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficient?			X	

- a. Project construction would consume energy in two general forms: 1) the fuel energy consumed by construction vehicles and equipment and 2) bound energy in construction materials, such as asphalt, steel, concrete, pipes, and manufactured or processed materials such as lumber and glass. Fossil fuels used for construction vehicles and other energy-consuming equipment would be used during site clearing, grading, and construction. Fuel energy consumed during construction would be temporary and would not represent a significant demand on energy resources. In addition, some incidental energy conservation would occur during construction through compliance with State requirements that equipment not in use for more than five minutes be turned off. Project construction equipment would also be required to comply with the latest EPA and CARB engine emissions standards. These emissions standards require highly efficient combustion systems that maximum fuel efficiency and reduce unnecessary fuel consumption.

Substantial reduce in energy inputs for construction materials can be achieved by selecting building materials composed of recycled materials that require substantially less energy to produce than non-recycled materials. The project-related incremental increase in the use of energy bound in construction materials such as asphalt, steel, concrete, pipes and manufactured or processed materials (e.g., lumber and gas) would not substantially increase demand for energy compared to overall local and regional demand for construction materials.

The proposed project would consume energy for interior and exterior building lighting, heating/ventilation and air conditioning (HVAC), refrigeration, electronics systems, appliances, and security systems, among other things. The proposed project would be required to comply with Title 24 Building Energy Efficiency Standards, which provide minimum efficiency standards related to various building features, including appliances, water and space heating and cooling equipment, building insulation and roofing, and lighting. Implementation of Title 24 standards significantly reduces energy usage. Furthermore, the electricity provider is subject to California's Renewables Portfolio Standard (RPS). The RPS requires investor owned utilities, electric service providers, and community choice aggregators (CCA) to increase procurement from eligible renewable energy resources to 33 percent of total procurement by 2020 and to 50 percent of total procurement by 2030. Renewable energy is generally defined as energy that

comes from resources, which are naturally replenished within a human timescale such as sunlight, wind, tides, waves, and geothermal heat.

The project would adhere to all Federal, State, and local requirements for energy efficiency, including the Title 24 standards, as well as the project's design features and as such the project would not result in the inefficient, wasteful, or unnecessary consumption of building energy. Therefore, no impacts would occur.

- b. In 1978, the California Energy Commission (CEC) established Title 24, California's energy efficiency standards for residential and non-residential buildings, in response to a legislative mandate to create uniform building codes to reduce California's energy consumption, and provide energy efficiency standards for residential and non-residential buildings. The 2016 standards went into effect on January 1, 2017 and substantially reduce electricity and natural gas consumption. Additional savings result from the application of the standards on building alterations such as cool roofs, lighting, and air distribution ducts.

The California Green Building Standards Code (California Code of Regulations, Title 24, Part 11), commonly referred to as the CALGreen Code, is a statewide mandatory construction code that was developed and adopted by the California Building Standards Commission and the California Department of Housing and Community Development. CALGreen standards require new residential and commercial buildings to comply with mandatory measures under five topical areas: planning and design; energy efficiency; water efficiency and conservation; material conservation and resource efficiency; and environmental quality. An updated version of both the California Building Code and the CALGreen Code went into effect on January 1, 2020. The 2022 Title 24 code revisions include additional energy requirements and go into effect on January 1, 2023. The proposed project would comply with these requirements.

In 2014, the City of Lancaster created Lancaster Choice Energy (LCE), allowing residents and businesses in Lancaster to choose the source of their electricity, including an opportunity to opt up to 100% renewable energy. SCE continues to deliver the electricity and provide billing, customer services and powerline maintenance and repair, while customers who choose to participate in this program, would receive power from renewable electric generating private sector partners at affordable rates.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
VII. <u>GEOLOGY AND SOILS</u> . Would the project:				
a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.				X
ii) Strong seismic ground shaking?			X	
iii) Seismic-related ground failure, including liquefaction?				X
iv) Landslides?				X
b) Result in substantial soil erosion or the loss of topsoil?		X		
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?			X	
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?			X	
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				X
f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		X		

- a. The project site is not identified as being in or in proximity to a fault rupture zone (LMEA Figure 2-5). According to the Seismic Hazard Evaluation of the Lancaster East and West Quadrangles, the project site may be subject to intense seismic shaking (LMEA pg. 2-16). However, the

proposed project would be constructed in accordance with the seismic requirements of the Uniform Building Code (UBC) adopted by the City, which would render any potential impacts to a less than significant level. The site is generally level and is not subject to landslides (SSHZ).

Liquefaction is a phenomenon in which the strength and stiffness of a soil is reduced by earthquake shaking or other events. This phenomenon occurs in saturated soils that undergo intense seismic shaking typically associated with an earthquake. There are three specific conditions that need to be in place for liquefaction to occur: loose granular soils, shallow groundwater (usually less than 50 feet below ground surface) and intense seismic shaking. In April 2019 the California Geologic Survey updated the Seismic Hazard Zones Map for Lancaster (SSHZ) (<https://maps.conservation.ca.gov/cgs/EQZApp/app/>). Based on these maps, the project site is not located in an area at risk for liquefaction. No impacts would occur.

- b. The project site is rated as having a none to slight risk for soil erosion (USDA SCS Maps) when cultivated or cleared of vegetation. As such, there remains a potential for water and wind erosion during construction. The proposed project would be required, under the provisions of the Lancaster Municipal Code (LMC) Chapter 8.16, to adequately wet or seal the soil to prevent wind erosion. Additionally, the mitigation measures listed below are required to control dust/wind erosion. With implementation of the mitigation measures, impacts would be less than significant.

#### Mitigation Measures

- 11. The applicant shall submit the required Construction Excavation Fee to the Antelope Valley Air Quality Management District (AVAQMD) prior to the issuance of any grading and/or construction permits. This includes compliance with all prerequisites outlined in District Rule 403, Fugitive Dust, including submission and approval of a Dust Control Plan, installation of signage and the completion of a successful onsite compliance inspection by an AVAQMD field inspector. Proof of compliance shall be submitted to the City.
- c. Subsidence is the sinking of the soil caused by the extraction of water, petroleum, etc. Subsidence can result in geologic hazards known as fissures. Fissures are typically associated with faults or groundwater withdrawal, which result in the cracking of the ground surface. According to Figure 2-3 of the City of Lancaster's Master Environmental Assessment, the closest sinkholes and fissures to the project site are located in the vicinity of Lancaster Boulevard and Avenue I, approximately 2.5 miles northeast of the project site. However, the project site is not known to be within an area subject to sinkholes, subsidence (LMEA Figure 2-3) or any other form of soil instability. The proposed project would be required to have a geotechnical study prepared and all recommendations followed as part of the building permit process. These recommendations would ensure that any impacts associated with forms of soil instability would be less than significant. For a discussion of potential impacts regarding liquefaction, please refer to Item VI.a.
- d. The soil on the project site is characterized by a low shrink/swell potential (LMEA Figure 2-3), which is not an expansive soil as defined by Table 18-1-B of the Uniform Building Code. A soils report on the soils within the project site shall be submitted to the City by the project developer prior to grading of the property and the recommendations of the report shall be incorporated into the development of the property. Therefore, impacts would be less than significant.

- e. The proposed project would be tied into the sanitary sewer system. No septic or alternative means of waste water disposal are part of the proposed project. Therefore, no impacts would occur.
- f. A paleontological resources report was prepared for the proposed project by Applied EarthWorks, Inc. and documented in report entitled "Paleontological Resources Assessment for the Pacific Topaz Tentative Tract Map 53642 Project, City of Lancaster, Los Angeles County, California" and dated November 2021.

The study included literature reviews and records searches along with a field survey of the project site. The records search conducted at the Natural History Museum of Los Angeles County (NHMLAC) did not identify any fossil localities within the project area. The nearest fossils from the same sedimentary units as the project site were discovered approximately miles to the northeast of the project site. Additionally, the project site was surveyed on October 26, 2021 by walking north-south transects spaced approximately 10 to 15 feet apart. No paleontological resources were identified during the site survey.

However, based on a review of area records and the types of soils on the project site, it was determined that the project site has a high potential for paleontological resources depending upon the location on the site and the depth of excavation. In order to ensure proper treatment of any paleontological resources found on the project site, the following mitigation measure is required. With implementation of the identified mitigation measure, impacts would be less than significant.

#### Mitigation Measures

12. A paleontological resource mitigation program shall be prepared by a qualified paleontologist prior to the issuance of any construction related permits. At a minimum, the mitigation program shall include the following:
  - A Worker's Environmental Awareness Program (WEAP) shall be prepared and presented to all field personnel to describe the types of fossils that may be found and the procedures to follow if any are encountered.
  - Full time construction monitoring shall occur at all depths where alluvium is exposed and at depths greater than or equal to four feet below ground surface (bgs) where artificial fill is present. Full time monitoring may be reduced to spot-check monitoring at the discretion of the paleontologist if no intact and significant paleontological resources are encountered during the initial period of construction monitoring.
  - Provide details about fossil collection, analysis, and preparation for permanent curation at an approved repository.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
<b>VIII. GREENHOUSE GAS EMISSIONS.</b> Would the project:				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			X	
b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?			X	

- a. The AVAQMD has established thresholds for greenhouse gas emissions which, if exceeded, would render a project as having a significant adverse impact. An air quality and greenhouse gas study was prepared by RK Engineering Group, Inc. and documented in a report entitled “Tract 53642 Pacific Topaz, Air Quality & GHG Impact Study, City of Lancaster” dated December 9, 2021.

Tables 13 through 16 document the construction and operational greenhouse gas emissions associated with the proposed project. As shown, the proposed project would not exceed the established thresholds on either a daily or annual basis and impacts would be less than significant.

**Table 13**  
**Annual Construction Greenhouse Gas Emissions**

<b>Year</b>	<b>Annual GHG Emissions (MTCO<sub>2</sub>e/year)</b>
2022	944.26
2023	668.19
2024	489.22
Maximum Annual Emissions	944.26
AVAQMD Annual Threshold	100,000
Exceeds Threshold?	No

**Table 14**  
**Daily Construction Greenhouse Gas Emissions**

<b>Year</b>	<b>Daily GHG Emissions (lbs CO<sub>2</sub>e/day)</b>
2022	26,383.17
2023	5,734.73
2024	5,676.47
Maximum Annual Emissions	26,383.17
AVAQMD Annual Threshold	548,000
Exceeds Threshold?	No

**Table 15**  
**Annual Operational Greenhouse Gas Emissions**

<b>Emission Source</b>	<b>GHG Emissions (MTCO<sub>2</sub>e/year)</b>
Area	96.82
Energy	469.46
Mobile	765.31
Waste	98.16
Water	49.97
Maximum Annual Emissions	1,479.72
AVAQMD Annual Threshold	100,000
Exceeds Threshold?	No

**Table 16**  
**Daily Operational Greenhouse Gas Emissions**

<b>Year</b>	<b>GHG Emissions (lbs CO<sub>2</sub>e/day)</b>
Area	2,563.62
Energy	1,128.99
Mobile	5,422.55
Waste	592.86
Water	301.81
Total Daily Emissions	10,009.83
AVAQMD Annual Threshold	548,000
Exceeds Threshold?	No

- b. The City of Lancaster Final Climate Action Plan was adopted in March 2017. As part of the climate action plan (CAP), a greenhouse gas emissions inventory for the City was developed which consisted of both community-wide emissions and emissions from government operations for future years based on demographic growth. The CAP also identified projects that would enhance the City's ability to further reduce GHG emissions. A total of 61 projects/measures



across eight sectors were identified, which include: 1) transportation; 2) energy; 3) municipal operations; 4) water; 5) waste; 6) built environment; 7) community; and 8) land use. The forecasts do not account for any new federal, State, regional, or local policies that may be implemented after 2015, nor does it assume that any policies in place in 2015 will become more stringent. Forecasts for both community and government operations were prepared for 2020, 2030, 2040, and 2050. Under all scenarios assessed, the City meets the 2020 target and makes substantial progress towards achieving post-2020 reductions.

The proposed project would also be in compliance with the greenhouse gas emission goals and policies identified in the City of Lancaster's General Plan (pgs. 2-19 to 2-24) and with the City's Climate Action Plan. Therefore, impacts with respect to conflicts with an agency's plan, policies, or regulations would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
IX. <u>HAZARDS AND HAZARDOUS MATERIALS.</u> Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			X	
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X	
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?		X		
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?				X
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				
g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?				

- a-b. The proposed project consists of the subdivision of 37 acres into 207 residential lots. The development would be an age-restricted, gate community with associated amenities such as drainage basin, community gardens, walking paths, recreational areas, and landscaping. Typical construction materials would be utilized during development of the proposed project. During occupancy of the proposed project, the residents and maintenance workers would utilize typical household cleaners, landscaping and maintenance products. These items would be utilized in

accordance with all applicable regulations. The project site is not located along or near a hazardous materials transportation corridor (LMEA p. 9.1-14 and Figure 9.1-4). Development of the project site would not involve the demolition of any structures and would not expose individuals or the environment to asbestos containing materials or lead-based paint. Therefore, impacts would be less than significant.

- c. The project site is not located within a quarter mile of an existing or proposed school. The closest school to the project site is Quartz Hill High School located at 6040 West Avenue L, approximately 0.5 miles to the south. Additionally, the proposed project would not emit hazardous emissions or handle hazardous/acute hazardous materials, substances, or waste. Therefore, no impacts would occur.
- d. A Phase I Environmental Site Assessment was prepared for the project site by Anacapa Geoservices, Inc. The results of the study are documented in a report entitled "Phase I Environmental Site Assessment, LACO APN #3204-009-079, -026, and -081, 40± Acres Vacant Land, SE of Corner 60<sup>th</sup> Street West at West Avenue K-4, Lancaster, CA 93536" and dated August 2, 2021.

A survey of the project site was conducted on July 27, 2021 to determine the presence of any recognized environmental concerns. The site is undeveloped and no storage of hazardous materials was observed. No storage tanks or other signs of hazardous materials were observed. However, the eastern side of the property contains dumped construction related soil and some concrete from an unknown source. As such, a mitigation measure has been identified to ensure the proper disposal of the materials. With the implementation of the mitigation measure, impacts would be less than significant.

In addition, a records search was conducted of regulatory databases within specified search distances. Upon review of these databases, the project site and immediately surrounding areas are not located in any regulatory databases nor are they located on a hazardous materials site. Therefore, no impacts would occur.

### Mitigation Measures

13. The applicant shall have all non-compliant items discovered on the site and the dumped soil piles profiled (tested) to ensure proper disposal or potential reuse.

- e. The project site is not located within the boundaries of an airport land use plan or within two miles of a public or public use airport. The closest airport is General William J Fox Airfield located approximately 4.5 miles northeast of the project site. As such, the proposed project would not result in a safety or excessive noise hazard for individuals working or living in the area.
- f. Access to the project site would be from Avenue K-4 and Avenue K-8, but no direct access would be provided to 60<sup>th</sup> Street West. Avenue K-4, Avenue K-8 and 60<sup>th</sup> Street West would all be improved to meet current roadway standards adjacent to the project site. None of these roadways have designated as an evacuation route. Based on the VMT study prepared for the proposed project, it is estimated that the project would generate approximately 922 trips per day. This amount of traffic is not anticipated to cause any operational or safety issues at any of the

area intersections. Therefore, the proposed project would not impact or physically block any identified evacuation routes and would not interfere with any adopted emergency response plans.

- g. The properties to the east and south of the project site area vacant and could be subject to vegetation fires. However, the project site is located within the boundaries of Fire Station No. 84, located at 5030 West Avenue L-14. This fire station would serve the project site in the event of a fire with additional support available from other fire stations. Therefore, impacts from wildland fires would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
X. <u>HYDROLOGY AND WATER QUALITY</u> . Would the project:				
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?			X	
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?			X	
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:				
i) Result in substantial erosion or siltation on- or off-site			X	
ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site			X	
iii) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff			X	
iv) Impede or redirect flood flows			X	
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?				X
e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?			X	

- a. The project site is not located in the vicinity of an open body of water or in an aquifer recharge area. The proposed project would be required to comply with all applicable provisions of the National Pollutant Discharge Elimination System (NPDES) program. The NPDES program establishes a comprehensive storm water quality program to manage urban storm water and

minimize pollution of the environment to the maximum extent practicable. The reduction of pollutants in urban storm water discharge through the use of structural and nonstructural Best Management Practices (BMPs) is one of the primary objectives of the water quality regulations. BMPs that are typically used to management runoff water quality include controlling roadway and parking lot contaminants by installing oil and grease separators at storm drain inlets, cleaning parking lots on a regular basis, incorporating peak-flow reduction and infiltration features (grass swales, infiltration trenches and grass filter strips) into landscaping and implementing educational programs. The proposed project would incorporate appropriate BMPs during construction, as determined by the City of Lancaster Development Services Department. Therefore, impacts would be less than significant.

The proposed project consists of the subdivision of 37 acres into 207 residential lots and the construction and occupancy of an age-restricted residential development with associated amenities. The proposed project would contain a drainage basin in the northwestern corner of the project site and open space/recreational areas (e.g., walking paths, community gardens, etc.) and landscaped areas would be located throughout the development. Single family residences are not a use that would normally generate wastewater that violates water quality standards or exceeds waste discharge requirements. As such the proposed project would not violate water quality standards and impacts would be less than significant.

- b. The proposed project would not include any groundwater wells or pumping activities. All water supplied to the proposed project would be obtained from Los Angeles County Waterworks, District 40. Therefore, impacts would be less than significant.
- c. Development of the proposed project would increase the amount of surface runoff as a result of impervious surfaces associated with the paving of the roadways/parking areas, and construction of the residences and common areas. The proposed project would be designed, on the basis of a hydrology study to accept current flows from entering the property and to handle the additional incremental runoff from the developed sites. Therefore, impacts from drainage and runoff would be less than significant.

The project site is designated as Flood Zone X with a small portion at the southwest corner of the site designated as X-Shaded per the Flood Insurance Rate Map (FIRM) (06037C0415F). As such, most of the site is outside of both the 100-year and 500-year flood zones and a small portion of the site is outside of the 100-year flood zone but within the 500-year flood zone. Therefore, impacts would be less than significant.

- d. The project site is not located within a coastal zone. Therefore, tsunamis are not a potential hazard. The project site is relatively flat and does not contain any enclosed bodies of water and is not located in close proximity to any large bodies of water. Apollo Park contains a small lake which is located approximately 4.25 miles north of the project site and the California Aqueduct is located approximately 3 miles south of the project site. In the event of an earthquake, it is not anticipated that the lake or aqueduct would create a seiche that would impact the project site. Additionally, the project site would not be subject to mudflows. Therefore, no impacts would occur.

- e. The proposed project would not conflict with or obstruct the implementation of the applicable water quality control plan or sustainable groundwater management plan. For additional information, see responses to X.a through X.c. Therefore, impacts would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XI. <u>LAND USE AND PLANNING</u> . Would the project:				
a) Physically divide an established community?				X
b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?				X

- a. The proposed project consists of the subdivision of 37 acres into 206 single family residential lots and the construction and occupancy of an age-restricted residential development with associated amenities. The project site is located at the southeast corner of 60<sup>th</sup> Street West and Avenue K-4 on vacant land. The roadways to the north, west, and south already exist. The proposed project would not block a public street, trail, or other access route or result in a physical barrier that would divide the community. Therefore, no impacts would occur.
- b. The proposed project is consistent with the City's General Plan and must be in conformance with the Lancaster Municipal Code. The proposed project will be in compliance with the City-adopted Uniform Building Code (UBC) and erosion control requirements (Section VII). Additionally, as noted Section IV, the project site is not subject to and would not conflict with a habitat conservation plan or natural communities conservation plan. Therefore, no impacts would occur.



	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XII. <u>MINERAL RESOURCES</u> . Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				X
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X

- a-b. The project site does not contain any current mining or recovery operations for mineral resources and no such activities have occurred on the project in the past. According to the LMEA (Figure 2-4 and page 2-8), the project site is designated as Mineral Reserve Zone 3 (contains potential but presently unproven resources). However, it is considered unlikely that the Lancaster area has large valuable mineral and aggregate deposits. Therefore, no impacts to mineral resources would occur.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XIII. <u>NOISE</u> . Would the project:				
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		X		
b) Generation of excessive groundborne vibration or groundborne noise levels?				X
c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				X

- a. Construction activities associated with earth moving equipment and other construction machinery would temporarily increase noise levels in the vicinity of the project site. The closest noise sensitive receptors to the project site are the single-family residences located directly north, south and west of the project site. Some construction activities may be audible at these locations, but due to the distance, roadway and ambient noise levels it is unlikely that the construction noise would be bothersome and would not exceed the established noise thresholds. However, all construction activities would be in accordance with the City's noise ordinance with respect to days of the week and time of day. Additionally, mitigation measures have been identified to reduce the noise generated by construction activities to the extent feasible. These measures are construction best management practices. Incorporation of these measures would ensure that all construction noise impacts are less than significant.

A noise study was prepared for the proposed project by RK Engineering Group, Inc. and documented in a report entitled "Tract 53642 Pacific Topaz, Noise Impact Study, City of Lancaster" and dated October 1, 2021. This noise study analyzed operational noise of the proposed project on the surrounding environment.

The City's General Plan (Table 3-1) establishes an outdoor maximum CNEL of 65 dBA for residential uses. The current noise level along 60<sup>th</sup> Street West in the vicinity of the project site is 63.3 dBA. The proposed project is anticipated to generate approximately 922 daily trips at full occupancy. This increase in traffic is not anticipated to increase permanent noise levels in the vicinity of the project site.

Interior noise levels would be compatible with state requirements with the implementation of the design features identified in the noise study. Therefore, impacts would be less than significant.

#### Mitigation Measures

14. Construction operations shall not occur between 8 p.m. and 7 a.m. on weekdays or Saturday or at any time on Sunday. The hours of any construction-related activities shall be restricted to the periods and days permitted by local ordinance.
  15. The on-site construction supervisor shall have the responsibility and authority to receive and resolve complaints. A clear appeal process to the owner shall be established prior to construction commencement that will allow for resolution of noise problems that cannot be immediately solved by the site supervisor.
  16. Electrically powered equipment shall be used instead of pneumatic or internal combustion powered equipment, where feasible.
  17. Material stockpiles and mobile equipment staging, parking and maintenance areas shall be located as far away as practicable from noise-sensitive receptors.
  18. The use of noise producing signal, including horns, whistles, alarms, and bells shall be for safety warning purposes only.
  19. No project-related public address or music system shall be audible at any adjacent receptor.
  20. All noise producing construction equipment and vehicles using internal combustion engines shall be equipped with mufflers, air-inlet silencers where appropriate, and any other shrouds, shields, or other noise-reducing features in good operating condition that meet or exceed original factory specifications. Mobile or fixed "package" equipment (e.g., arc-welders, air compressors, etc.) shall be equipped with shrouds and noise control features that are readily available for the type of equipment.
  21. The proposed development shall incorporate the design features recommended in the noise study, or the equivalent, to ensure noise impacts upon occupancy remain less than significant. These design features shall be indicated on the building plans.
- b. It is not anticipated that the construction of the proposed project would require the use of machinery that generates ground-borne vibration as no major subsurface construction (e.g., underground parking) is planned. No ground mounted industrial-type equipment that generates ground vibration would be utilized once the project is constructed and operational. Therefore, no impacts are anticipated.
- c. The project site is not in proximity to an airport or a frequent overflight area and would not experience noise from these sources. Therefore, no impacts would occur.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XIV. <u>POPULATION AND HOUSING</u> . Would the project:				
a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			X	
b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?				X

- a. The proposed project would result in an incremental increase in population growth; however, this increase was anticipated in both the City's General Plan and in the Southern California Association of Government's (SCAG's) most recent Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS). Additionally, while it is likely that individuals involved in the construction of the proposed project or residing at the proposed project would come from the Antelope Valley any increase in population would contribute, on an incremental basis, to the population of the City. As such, impacts would be less than significant.
- b. The project site is currently vacant. No housing or people would be displaced necessitating the construction of replacement housing elsewhere. Therefore, no impacts would occur.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XV. <u>PUBLIC SERVICES.</u>				
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
Fire Protection?			X	
Police Protection?			X	
Schools?			X	
Parks?			X	
Other Public Facilities?			X	

- a. The proposed project would increase the need for both fire and police services; however, the project site is within the current service area of both these agencies and the additional time and cost to service the site is minimal. The proposed project would not induce substantial population growth and therefore, would not significantly increase the demand on parks, schools, or other public facilities. Additionally, this growth has been accounted for in the City's General Plan and within SCAG's population forecasts. Impacts would be less than significant.

Construction of the proposed project may result in an incremental increase in population and may increase the number of students in the Westside School District and Antelope Valley Union High School District. Proposition 1A, which governs the way in which school funding is carried out, predetermines by statute that payment of developer fees is adequate mitigation for school impacts. Therefore, impacts would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XVI. <u>RECREATION</u> . Would the project:				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?			X	
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?			X	

- a-b. The proposed project may generate additional population growth through the creation of new jobs and would contribute on an incremental basis to the use of the existing park and recreational facilities. The proposed project includes the construction of recreational amenities for use by the development's residents. Additionally, the applicant would be required to pay applicable park fees which would offset the impacts to existing parks. Therefore, impacts would be less than significant.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XVII. <u>TRANSPORTATION</u> . Would the project:				
a) Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?			X	
b) Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?				X
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
d) Result in inadequate emergency access?				X

- a. The proposed project would not conflict with any programs, plans, ordinances and policies with respect to transportation systems including, bicycle and pedestrian facilities. The project site is located at the southeast corner of 60<sup>th</sup> Street West and Avenue K-4 and the southern boundary is comprised of Avenue K-8. The proposed would install the bike lines and pedestrian improvements along their project frontages. Additionally, the contains paseos and walking paths for resident use. Therefore, impacts would be less than significant.
- b. In July 2020, the City of Lancaster adopted standards and thresholds for analyzing projects with respect to vehicle miles traveled (VMT). A series of screening criteria were adopted and if a project meets one of these criteria, a VMT analysis is not required. These criteria are: 1) project site - generates fewer than 110 trips per day; 2) locally serving retail - commercial developments of 50,000 square feet or smaller; 3) project located in a low VMT area - 15% below baseline; 4) transit proximity; 5) affordable housing; and 6) transportation facilities.

The project site is located within a low VMT area; specifically, this area has a VMT which is at least 15% below the Antelope Valley Planning Area (AVPA) threshold. A VMT study was prepared by RK Engineering Group, Inc. entitled "Pacific Topaz Residential Project Trip Generation & VMT Analysis, City of Lancaster, CA" and dated August 19, 2021. This study documents that the project is located in a low VMT area and as such, a detailed VMT is not required. No impacts would occur.

- c. The proposed project would be accessed by Avenue K-4 and Avenue K-8, from 60<sup>th</sup> Street West. These roadways are currently improved but will be further improved to meet the ultimate design of the roadways. These improvements would not increase hazardous conditions in the vicinity of the project nor create dangerous design situations. Therefore, no impacts would occur.

- d. The project site would be accessed from both Avenue K-4 and Avenue K-8 which would provide adequate emergency access to the project site. Roadways within the subdivision would meet the standards of the Los Angeles County Fire Department, ensuring adequate emergency access. Therefore, no impacts would occur.



	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
<b>XVIII. TRIBAL CULTURAL RESOURCES.</b> Would the project:				
a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				
i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or				X
ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set for in subdivision (c) of Public Resources Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.				X

- a. No cultural resources were identified on the project site through either the records search or the on-site survey that was conducted. No specific tribal cultural resources were identified during the AB 52 process; however, the Fernandeno Tataviam Band of Mission Indians and the Yuhaaviatam of San Manuel Nation both identified the project site as being within a culturally sensitive area. Mitigation measures were requested to ensure the proper handling of any previously unknown cultural resources encountered during construction and for a tribal monitor. These mitigation measures have been included in the cultural resources section. As such, no impacts would occur.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
<b>XIX. UTILITIES AND SERVICE SYSTEMS.</b> Would the project:				
a) Require or result in the relocation or construction or new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?			X	
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?			X	
c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			X	
d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impact the attainment of solid waste reduction goals?			X	
e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?			X	

- a. The proposed project would be required to connect to the existing utilities such as electricity, natural gas, water, wastewater, telecommunications, etc. These services already exist in the vicinity of the project site. Connections would occur on the project site or within existing roadways or right-of-ways. Connections to these utilities are assumed as part of the proposed project and impacts to environmental resources have been discussed throughout the document. As such, impacts would be less than significant.
- b. The Los Angeles County Waterworks District No. 40 has not indicated any problems in supplying water to the proposed project in accordance with existing agreements. No new construction of water treatment or new or expanded entitlements would be required. Therefore, impacts would be less than significant.

- c. The project site is located outside the jurisdictional boundaries of District No. 14 and will require annexation into the district for service. Upon annexation, all wastewater would be treated at the Lancaster Water Reclamation Plan which has a design capacity of 18 million gallons per day (MGD) and currently processed an average flow of 14.6 mgd. The proposed project would discharge to a local sewer for conveyance to the Districts' Avenue J West Trunk Sewer located in Avenue J and 60<sup>th</sup> Street West. This trunk sewer has a capacity of 15.9 mgd and conveyed a peak flow of 0.3 mgd when last measured in 2018. The proposed project would generate approximately 56,680 gallons of wastewater per day. The proposed project would not require the expansion of existing facilities or the construction of new facilities. Therefore, impacts would be less than significant.
- d. Solid waste generated within the City limits is generally disposed of at the Lancaster Landfill located at 600 East Avenue F. This landfill is a Class III landfill which accepts agricultural, non-friable asbestos, construction/demolition waste, contaminated soil, green materials, industrial, inert, mixed municipal, sludge, and waste tires. It does not accept hazardous materials. Assembly Bill (AB) 939 was adopted in 1989 and required a 25% diversion of solid waste from landfills by 1995 and a 50% diversion by 2005. In 2011, AB 341 was passed which required the State to achieve a 75% reduction in solid waste by 2030. The City of Lancaster also requires all developments to have trash collection services in accordance with City contracts with waste haulers over the life of the proposed project. These collection services would also collect recyclable materials and organics. The trash haulers are required to be in compliance with applicable regulations on solid waste transport and disposal, including waste stream reduction mandated under AB 341.

The proposed project would generate solid waste during construction and operation which would contribute to an overall impact on landfill services (GPEIR pgs. 5.13-25 to 5.13-28 and 5.13-31); although the project's contribution would be minimal. However, the existing landfill has capacity to handle the waste generated by the proposed project. Additionally, the proposed project would be in compliance with all State and local regulations regarding solid waste disposal. Therefore, impacts would be less than significant.

- e. See Item XIX.d.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
XX. <u>WILDFIRE</u> . If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:				
a) Substantially impact an adopted emergency response plan or emergency evacuation plan?				X
b) Due to slope, prevailing winds, and other factors, exacerbate wildlife risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?				X
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?				X
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?				X

a. See Item IX.f.

b-d. The project site is not located in or near State responsibility areas or lands classified as very high fire hazard severity zones. The project site is located within the service boundaries of Fire Station No. 84 which would provide service in the event of a fire. Additionally, the proposed project would be constructed in accordance with all existing and applicable building and fire codes. Therefore, no impacts would occur as a result of wildfires.

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
<b>XXI. MANDATORY FINDINGS OF SIGNIFICANCE.</b>				
a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?		X		
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulative considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?			X	
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?		X		

a-c. The proposed project consists of the subdivision of approximately 37 acres into 207 individual lots for single-family residences in the R-7,000 zone along with a conditional use permit to allow for smaller lots. Other projects have been submitted within approximately one mile of the project site (see Table 17). These projects are also required to be in accordance with the City's zoning code and General Plan.

Cumulative impacts are the change in the environment, which results from the incremental impact of the project when added to other closely related past, present and reasonably foreseeable projects. The proposed project would not create any impacts with respect to: Agriculture and Forest Resources, Land Use and Planning, Mineral Resources, Tribal Cultural Resources, and Wildfire. The project would create impacts to other resource areas and mitigation measures have identified for Air Quality, Biological Resources, Cultural Resources, Geology and Soils, Hazards and Hazardous Materials, and Noise.

Many of the impacts generated by projects are site specific and generally do not influence the impacts on another site. All projects undergo environmental review and have required mitigation measures to reduce impacts when warranted. These mitigation measures reduce environmental impacts to less than significant levels whenever possible. All impacts associated with the proposed project are less than

significant with the exception of air quality, biological resources, cultural resources, geology and soils (soil erosion), hazards and hazardous materials, and noise. Impacts associated with these issues are less than significant with the incorporation of the identified mitigation measures. Therefore, the project's contribution to cumulative impacts would not be cumulatively considerable.

**Table 17**  
**Related Projects List**

<b>Case No.</b>	<b>Location</b>	<b>Acres</b>	<b>Description</b>	<b>Status</b>
TR 61040	NW corner of future 55 <sup>th</sup> St W and future Ave K-14	15.1	58 lot single family residential subdivision	Under Construction
TR 61989-01	SW corner of 67 <sup>th</sup> St W and Avenue L	20.25	56 lot single family residential subdivision	Under Construction
Avanti North Specific Plan TTM 73507 SP 15-01	Bounded by Avenue K, Avenue K-8, 70 <sup>th</sup> Street West, 60 <sup>th</sup> Street West		753 lot single family residential subdivision	Approved
Avanti South Specific Plan TTM74312 SP 15-02 GPA 16-01 DA 18-01 ZC 16-01	62nd Street West, 75 <sup>th</sup> Street West, Avenue K-8, Avenue L		1,375 single family residences, 325 Multi-family units, commercial, fire station, school	Approved
TTM 61678 CUP 20-05	57th Street West and Avenue K		123 lot single family residential subdivision	Approved
TTM 72532/CUP 06-08	Southeast Corner of 60 <sup>th</sup> Street West and Avenue L		Commercial shopping center	Approved
TTM 61920 / ZC	Northeast Corner of future 55 <sup>th</sup> Street West and Avenue K		108 lot single family residential subdivision	Approved
TTM 61600	East of 60 <sup>th</sup> Street West on the south side of future Avenue K-12		33 lot single family residential subdivision	Approved
TTM 83554	Along 60 <sup>th</sup> Street West between Avenue K-9 and Avenue K-11		18 lot single family residential subdivision	Under Review
TTM 83553	Northwest corner of 52 <sup>nd</sup> Street West and Avenue L		28 lot single family residential subdivision	Under Review
TTM 83232	Northwest corner of 60 <sup>th</sup> Street West and Avenue K-12		86 lot single family residential subdivision	Approved

## List of Referenced Documents and Available Locations\*:

AIR	Tract 53642 Pacific Topaz Air Quality & GHG Impact Study, City of Lancaster, California, RK Engineering Group, Inc., December 9, 2021	DSD
BRR:	General Biological Resources Assessment, Pacific Topaz (TTM 53642), Lancaster, Los Angeles County, California APN 3204-009-11, 12, & 26, RCA Associates, Inc, August 5, 2021	DSD
CRS:	Phase I Cultural Resource Assessment for the Pacific Topaz Tract 53642 Project, Lancaster, Los Angeles County, California, Applied EarthWorks, Inc., November 2021	DSD
ESA:	Phase I Environmental Site Assessment, LACO APN #3204-009-079, -026, and -081, 40± Acres – Vacant Land SE of Corner 60 <sup>th</sup> Street West at West Avenue K-4, Lancaster, CA, 93536, Anacapa Geoservices, Inc., August 2, 2021	DSD
FIRM:	Flood Insurance Rate Map	DSD
GPEIR:	Lancaster General Plan Environmental Impact Report	DSD
LACSD:	Los Angeles County Sanitation Letter, May 5, 2022	DSD
LACW:	Los Angeles County Waterworks email, May 24, 2022	DSD
LGP:	Lancaster General Plan	DSD
LMC:	Lancaster Municipal Code	DSD
LMEA:	Lancaster Master Environmental Assessment	DSD
NOI	Tract 53642 Pacific Topaz Noise Impact Study, City of Lancaster, California, RK Engineering Group, Inc. October 1, 2021	DSD
PAL	Paleontological Resource Assessment for the Pacific Topaz Tentative Tract Map 53642 Project, City of Lancaster, Los Angeles County, California, Applied EarthWorks, Inc., November 2021	DSD
SSHZ:	State Seismic Hazard Zone Maps	DSD
USGS:	United States Geological Survey Maps	DSD
USDA SCS:	United States Department of Agriculture Soil Conservation Service Maps	DSD
VMT	Pacific Topaz Residential Project Trip Generation & VMT Analysis, City of Lancaster, CA, RK Engineering Group, Inc., August 19, 2021	DSD

\* DSD: Development Services Department  
Community Development Division  
Lancaster City Hall  
44933 Fern Avenue  
Lancaster, California 93534



TENTATIVE TRACT NO. 53642  
CITY OF LANCASTER

DEVELOPER:

PACIFIC COMMUNITIES BUILDER, INC.  
1000 DOVE ST, SUITE 100  
NEWPORT BEACH, CA 92660  
CONTACT: RONALD FREEMAN

WATER:

LA COUNTY WATER WORKS DISTRICT  
260 EAST AVENUE K-8  
LANCASTER, CA 93535  
PHONE: (661) 723-6084

CIVIL ENGINEER:

DAVID EVANS & ASSOCIATES, INC.  
17782 17TH STREET, SUITE 200  
TUSTIN, CA 92780  
CONTACT: JUSTIN BROWN

SEWER:

L.A. COUNTY SEWER MAINTENANCE  
45719 DIVISION STREET  
LANCASTER, CA 93535  
PHONE: (661) 942-6042

POWER:

LANCASTER CHOICE ENERGY (LCE)  
44933 FERN AVENUE  
LANCASTER, CA 93534  
PHONE: (661) 723-6084

COMMUNICATIONS:

FRONTIER COMMUNICATIONS  
42323 10TH STREET WEST  
LANCASTER, CA 93534  
PHONE: (885) 379-6546

GAS:

SOUTHERN CALIFORNIA GAS COMPANY  
44416 DIVISION STREET  
LANCASTER, CA 93535  
PHONE: (800) 427-2700

WASTE:

LANCASTER LANDFILL AND RECYCLING CENTER  
600 EAST AVENUE F  
LANCASTER, CA 93535  
PHONE: (661) 947-7197

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED LANCASTER, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

REAL PROPERTY IN THE CITY OF LANCASTER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

EXHIBIT A:

PARCEL 1:  
THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 NORTH, RANGE 13 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF.

PARCEL 2:  
THE NORTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 NORTH, RANGE 13 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

PARCEL 3:  
THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF TEH NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 NORTH, RANGE 13 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL ON FEBRUARY 19, 1956.

EXCEPT THEREFORM 50 PERCENT OF OIL AND MINERAL RIGHTS, UNDER AND IN SAID LAND, AS RESERVED BY ARTHUR C. ROMSTAD ADN HILDA C. ROMSTAD, HUSBAND AND WIFE, AS JOINT TENANTS IN DEED RECORDED JULY 25, 1957, IN BOOK 55146, PAGE 277 OF THE OFFICIAL RECORDS.

ASSESSOR'S PARCEL NUMBER:

3204-009-026  
3204-009-079  
3204-009-081

EASEMENT DATA:

EASEMENTS SHOWN HEREON ARE BASED ON A COPY OF TITLE INSURANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE COMPANY DATED AUGUST 03, 2021, AS ORDER NO. 00157862-997-B55-MM7. DAVID EVANS AND ASSOCIATES DOES NOT ACCEPT RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THIS INFORMATION PROVIDED BY THESE REPORTS.

- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES RECORDED IN BOOK 4634, PAGE 334, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC UTILITIES PURPOSES RECORDED AUGUST 03, 1949, IN DOCUMENT NO. 2080 IN BOOK 30691, PAGE 359, OF OFFICIAL RECORDS
- AN EASEMENT FOR POLES PURPOSES RECORDED NOVEMBER 04, 1954, IN BOOK 46027, PAGE 18, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC STREET, ROAD OR HIGHWAY PURPOSES RECORDED AUGUST 14, 1957, IN BOOK 55326, PAGE 347, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES RECORDED OCTOBER 28, 1959, IN BOOK D-847, PAGE 286, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC UTILITIES PURPOSES RECORDED AUGUST 16, 1960, DOCUMENT NO. 3738, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED MAY 16, 2006, DOCUMENT NO. 2006-1076401, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED APRIL 05, 2016, DOCUMENT NO. 2016-374221, OF OFFICIAL RECORDS

BASIS OF COORDINATES:

THE COORDINATES SHOWN HEREON ARE BASED THE CALIFORNIA SYSTEM OF 1983, CCS83, ZONE 5, (2017.50) IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID COORDINATED ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK, OR EQUIVALENT STATIONS:

BENCHMARK DATA:

ELEVATIONS AS SHOWN HEREON ARE IN TERMS OF THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 BASED LOCALLY UPON THE FOLLOWING LOS ANGELES COUNTY PUBLIC WORKS SURVEY SECTION DATUM BENCHMARKS:

DESIGNATION TL6345  
ELEVATION (FT) 2391.094  
DESCRIPTION FD, L&BM TAG S CB OF EAST ISLAND OF FUTURE C/L DIVIDER 1FT E/O BCR @ INT OF AVE K & 60TH ST W

ZONING CLASSIFICATION:

EXISTING: R-7.000  
PER CITY OF LANCASTER ZONING MAP (2015)  
PROPOSED: R-7.000

LAND USE CLASSIFICATION:

EXISTING: UR - URBAN RESIDENTIAL (2.1 - 6.5 DU/AC)  
PER CITY OF LANCASTER GENERAL PLAN LAND USE MAP (2009)  
PROPOSED: UR - URBAN RESIDENTIAL (2.1 - 6.5 DU/AC)

PROJECT INFORMATION AND DEVELOPMENT STANDARDS

NUMBER OF LOTS .....208  
NET ACREAGE .....35.88 AC  
NET DENSITY .....5.6 DU/AC  
MIN. LOT SIZE .....4,250 SF  
MIN. HOME SIZE .....1,600 SF  
MAX. SINGLE LOT BUILDING COVERAGE .....50%  
TOTAL OPEN SPACE .....5.86 ACRES  
TOTAL OPEN SPACE (% OF NETACREAGE) .....16.33%

MAX. DWELLING BUILDING HEIGHT .....25'  
MAX. NON-DWELLING/REC. BUILDING HEIGHT .....35'

MIN. FRONT SETBACK (TO GARAGE) .....18'  
MIN FRONT SETBACK (TO LIVING SPACE & PORCH) .....8'  
MIN. SIDE SETBACK .....4'  
MIN REAR SETBACK (PRIMARY BUILDING) .....10'  
MIN REAR SETBACK (AUXILIARY - CALIFORNIA ROOM OR TRELLIS).....5'

DRIVEWAY APPROACHES SHALL BE 40% OR LESS OF THE LOT FRONTAGE OR AS SHOWN ON THE TTM.  
TTM CAN BE RECORDED IN UP TO FOUR (4) PHASES. ANTICIPATED PHASES ARE SHOWN ON SHEET 8.  
WALLS AND FENCING: ALL STREET FACING SIDE and STREET FACING REAR YARDS WILL BE BLOCK. ALL OTHER INTERIOR FENCING WILL BE VINYL.

ABBREVIATIONS:

APN	ASSESSOR'S PARCEL NUMBER	MH	MANHOLE
AC	ASPHALT CONCRETE	P/L	PROPERTY LINE
C/L	CENTERLINE	R/W	RIGHT OF WAY
CO	CLEANOUT	RCB	REINFORCED CONCRETE BOX
CMP	CORRUGATED METAL PIPE	RCP	REINFORCED CONCRETE PIPE
ELEV	ELEVATION	SF	SQUARE FEET
ESMT	EASEMENT	SD	STORM DRAIN
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	STA	STATION
FG	FINISHED GRADE	SWR	SEWER
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TG	TOP OF GRATE
FS	FINISHED SURFACE	WTR	WATER
GV	GATE VALVE		
INV	INVERT		
LF	LINEAR FEET		

SOURCE OF TOPOGRAPHY:

COMPILED BY PHOTOGRAMMETRIC METHODS  
FROM AERIAL PHOTOGRAPHY BY:  
INLAND AERIAL SURVEYS, INC.  
7117 ARLINGTON AVENUE, SUITE A  
RIVERSIDE, CA 92503  
TEL: 951.687.4252  
DATED 08.19.2021

CONTROL SET BY MEYER LAND SURVEYING

FLOOD DESIGNATION:

PER FEMA MAP PANEL 415 OF 2350, MAP NUMBER 06037C0415F, EFFECTIVE DATE SEPTEMBER 26, 2008;  
SUBJECT PROPERTY IS DETERMINED TO BE ZONE X - AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANGE FLOODPLAIN WITH SOUTHEAST CORNER INSIDE 0.2% ANNUAL CHANGE FLOODPLAIN.

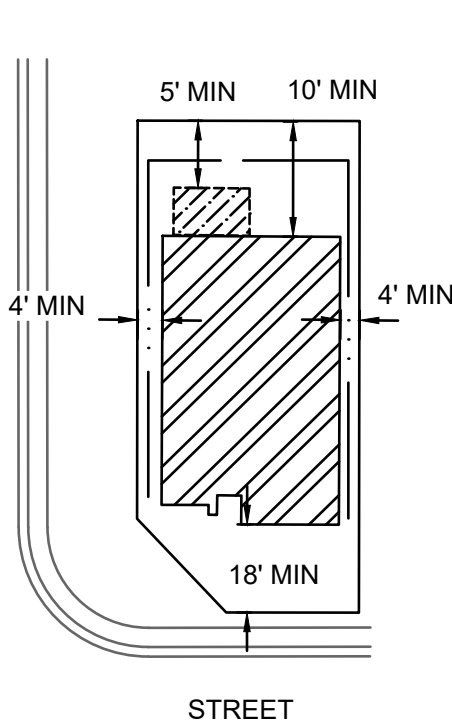
PER THE FEMA WEBSITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV

SHEET INDEX

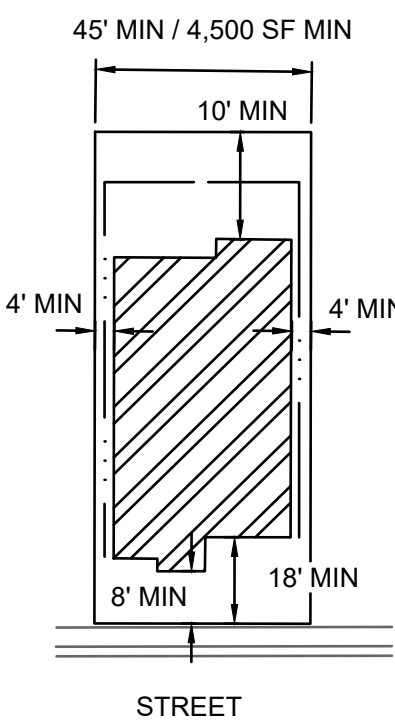
SHEET 1.....TITLE SHEET  
SHEET 2.....EXISTING PROPERTY & TOPOGRAPHY  
SHEET 3.....STREET SECTIONS  
SHEET 4.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 5.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 6.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 7.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 8.....PHASING PLAN  
SHEET 9.....CONCEPTUAL GRADING AND SITE PLAN

UTILITY NOTE

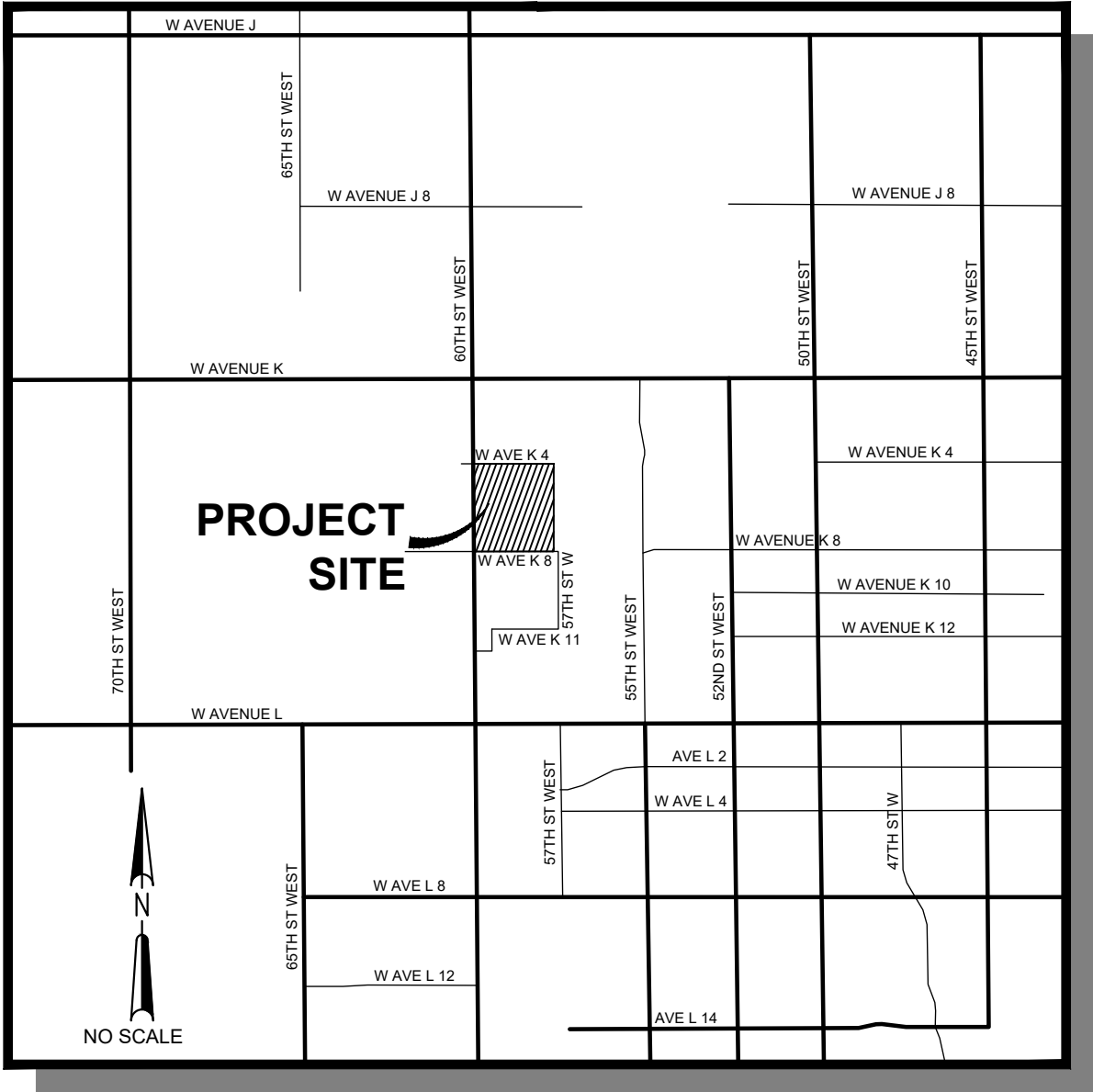
SEWER AND STORM DRAINS LOCATED IN PRIVATE STREETS WILL BE PRIVATE FACILITIES MAINTAINED BY THE HOA.



SETBACK LINES  
CORNER LOT DETAIL  
NOT TO SCALE



SETBACK LINES  
MID LOT DETAIL  
NOT TO SCALE



LEGEND: EXISTING IMPROVEMENTS

PROPERTY LINE	---
EXISTING LOT LINE	---
RIGHT OF WAY LINE	---
STREET CENTERLINE	---
EXISTING TREE	~ ~ ~ ~ ~
EXISTING CONTOUR MAJOR	---
EXISTING CONTOUR MINOR	---
EXISTING CHAIN-LINK FENCE	---
EXISTING ROAD	---
EXISTING TRUNK SEWER MAIN	S --- S
EXISTING SEWER MAIN	S --- S
EXISTING WATER MAIN	W ---
EXISTING STORM DRAIN	---
EXISTING SD STRUCTURE	□

LEGEND: PROPOSED IMPROVEMENTS

PROPOSED PROPERTY LINE	P/L
PROPOSED EASEMENT LINE	---
PROPOSED SAWCUT LINE	---
PROPOSED SEWER MAIN	S --- S
PROPOSED SEWER MH	⊙
PROPOSED WATER MAIN	W ---
PROPOSED WATER VALVE	⊗
PROPOSED THRUST BLOCK	▽
PROPOSED STORM DRAIN	---
PROPOSED STORM DRAIN INLET	---

LEGEND: PROPOSED SURFACES

ASPHALT CONCRETE	---
CONCRETE WALKWAY	---
LANDSCAPE	---

GROSS LAND AREA:

THE NET LAND AREA UPON JOINT USE AND LEASED AREA IS AS FOLLOWS:

TOTAL OWNED PROPERTY (GROSS LAND AREA)	1,752,750 SF	40.24 ACRES
--	--------------	-------------

NET LAND AREA:

THE NET LAND AREA UPON JOINT USE AND LEASED AREA IS AS FOLLOWS:

TOTAL OWNED PROPERTY (GROSS LAND AREA)	1,752,750 SF	40.24 ACRES
--	--------------	-------------

AREA FOR THE PUBLIC R/W	173,525 SF	3.98 ACRES
-------------------------	------------	------------

LANDSCAPE MAINTENANCE DISTRICT (LMD AREA)	16,675 SF	0.38 ACRES
---	-----------	------------

TOTAL NET	1,562,550 SF	35.88 ACRES
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CITY OF LANCASTER

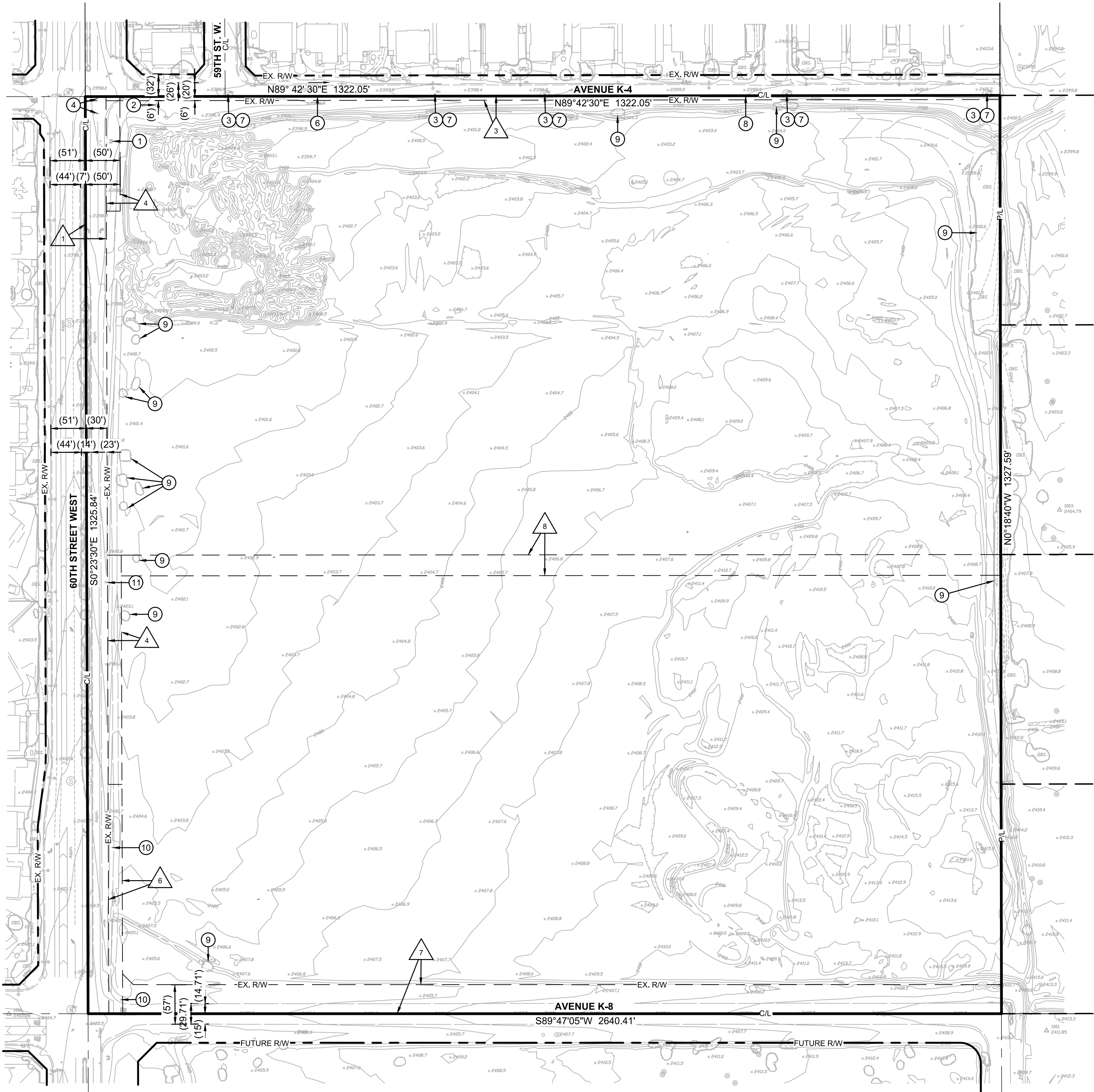
TENTATIVE TRACT MAP 53642  
TITLE SHEET

SHEET  
1  
9 OF  
SHTS

SCALE:

OWNER / DEVELOPER:		41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300		RECORD RCE		REVISION BLOCK		CITY ENGINEER		CITY OF LANCASTER	
PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660		DAVID EVANS AND ASSOCIATES INC. PREPARED UNDER THE SUPERVISION OF:		REV#		APPR		DATE		APPR	
JUSTIN A. BROWN R.C.E. NO. 85617		DATE									





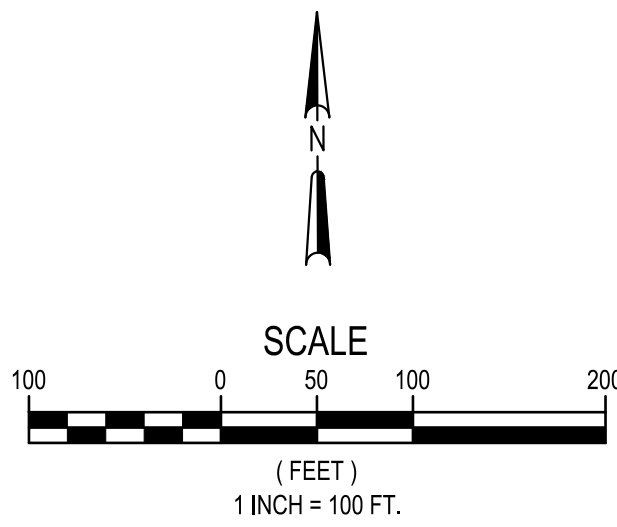
TENTATIVE MAP KEY NOTES

- EXISTING FIRE HYDRANT TO BE RELOCATED.
- EXISTING STORM DRAIN TO BE PROTECTED IN PLACE.
- EXISTING SEWER LINE TO BE PROTECTED IN PLACE.
- EXISTING WATER LINE AND APPURTENANCES TO BE PROTECTED IN PLACE.
- EXISTING POWER POLE TO BE PROTECTED IN PLACE.
- EXISTING CHAIN LINK FENCE TO BE REMOVED.
- EXISTING MANHOLE TO BE PROTECTED IN PLACE.
- EXISTING FIRE HYDRANT TO BE PROTECTED IN PLACE.
- EXISTING TREE/SHRUBS TO BE REMOVED.
- EXISTING SIGN TO BE RELOCATED.
- EXISTING UTILITY VAULT TO BE PROTECTED IN PLACE.



EASEMENT DATA:

EASEMENTS SHOWN HEREON ARE BASED ON A COPY OF TITLE INSURANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE COMPANY DATED AUGUST 03, 1011, AS ORDER NO. 00157861-997-B55-MM7. DAVID EVANS AND ASSOCIATES DOES NOT ACCEPT RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THIS INFORMATION PROVIDED BY THESE REPORTS.

- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES RECORDED IN BOOK 4634, PAGE 334, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC UTILITIES PURPOSES RECORDED AUGUST 03, 1949, IN DOCUMENT NO. 1080 IN BOOK 30691, PAGE 359, OF OFFICIAL RECORDS
- AN EASEMENT FOR POLES PURPOSES RECORDED NOVEMBER 04, 1954, IN BOOK 46017, PAGE 18, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC STREET, ROAD OR HIGHWAY PURPOSES RECORDED AUGUST 14, 1957, IN BOOK 55316, PAGE 347, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES RECORDED OCTOBER 18, 1959, IN BOOK D-647, PAGE 186, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC UTILITIES PURPOSES RECORDED AUGUST 16, 1960, DOCUMENT NO. 3738, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED MAY 16, 1006, DOCUMENT NO. 1006-1076401, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED APRIL 05, 1016, DOCUMENT NO. 1016-374111, OF OFFICIAL RECORDS

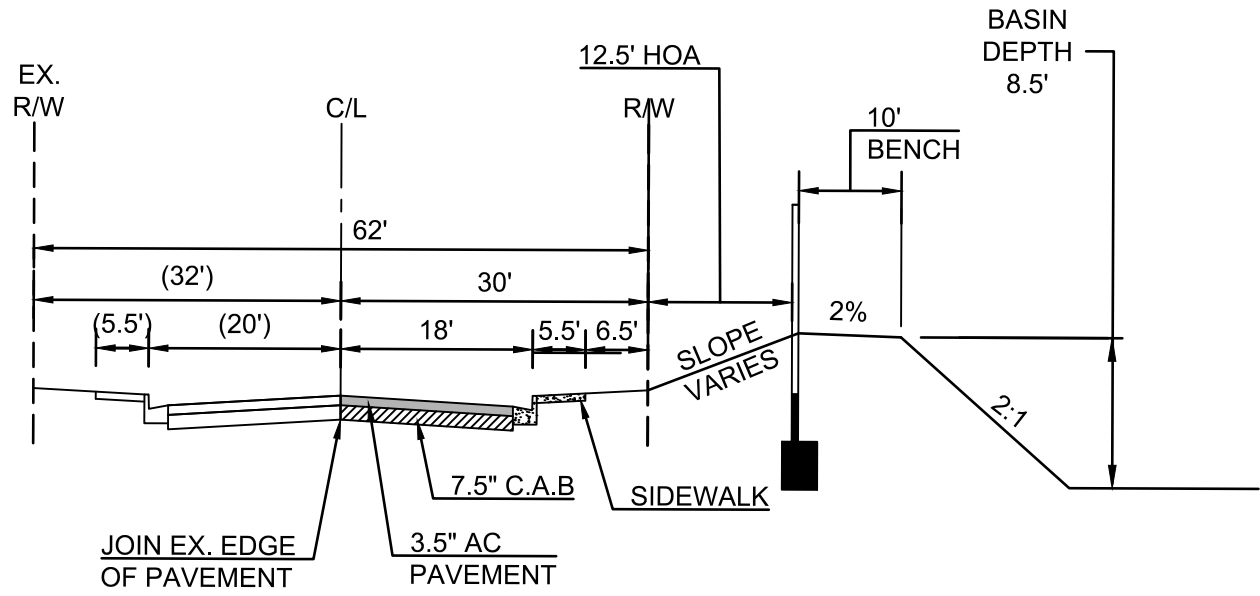


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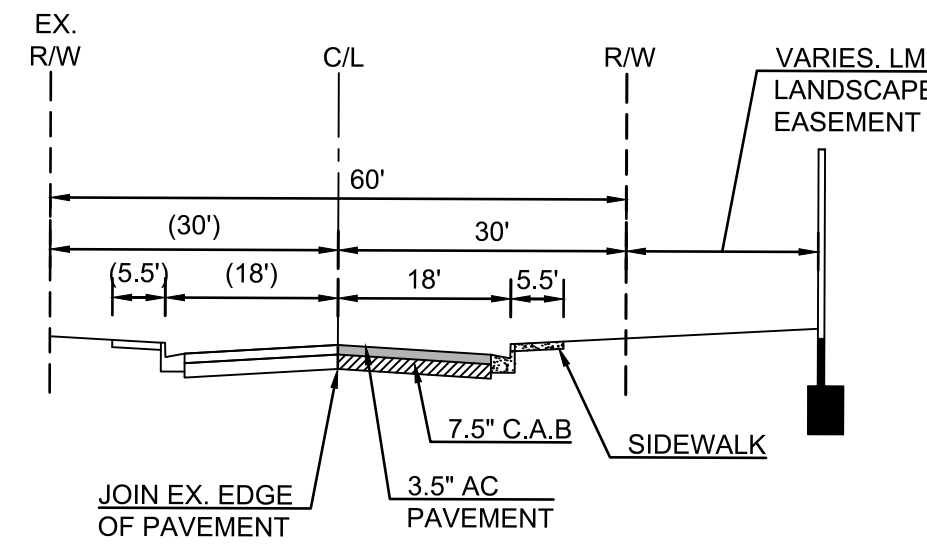
OWNER / DEVELOPER:		 DAVID EVANS AND ASSOCIATES INC.	41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300		RECORD RCE	REVISION BLOCK				CITY ENGINEER		CITY OF LANCASTER		TENTATIVE TRACT MAP 53642 EXISTING PROPERTY & TOPOGRAPHY	SHEET 2 OF 9 SHTS
PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660					REV#	APPR	DATE	REVISION DESCRIPTION	APPR	DATE	SCALE:				
PREPARED UNDER THE SUPERVISION OF:															
JUSTIN A. BROWN R.C.E. NO. 85617		DATE													



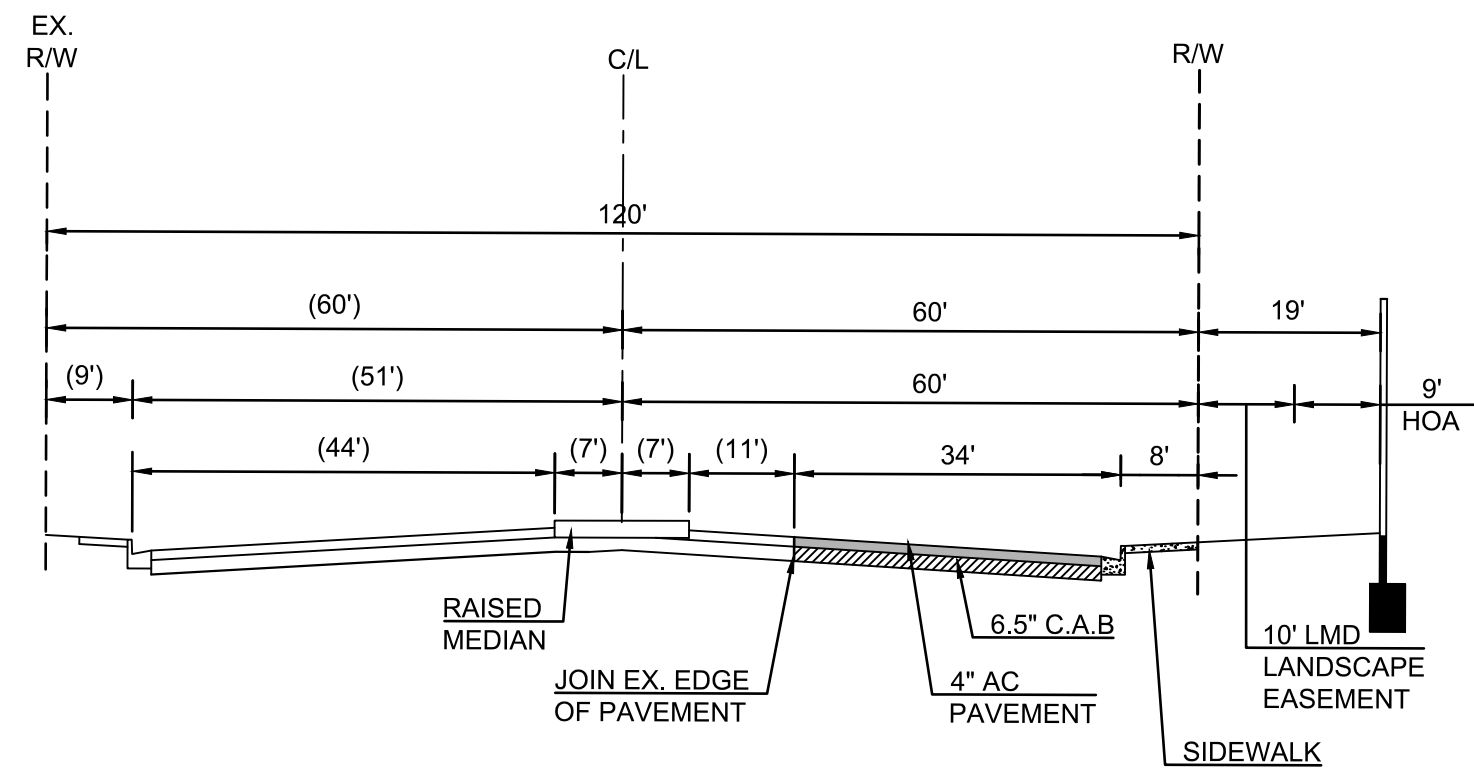
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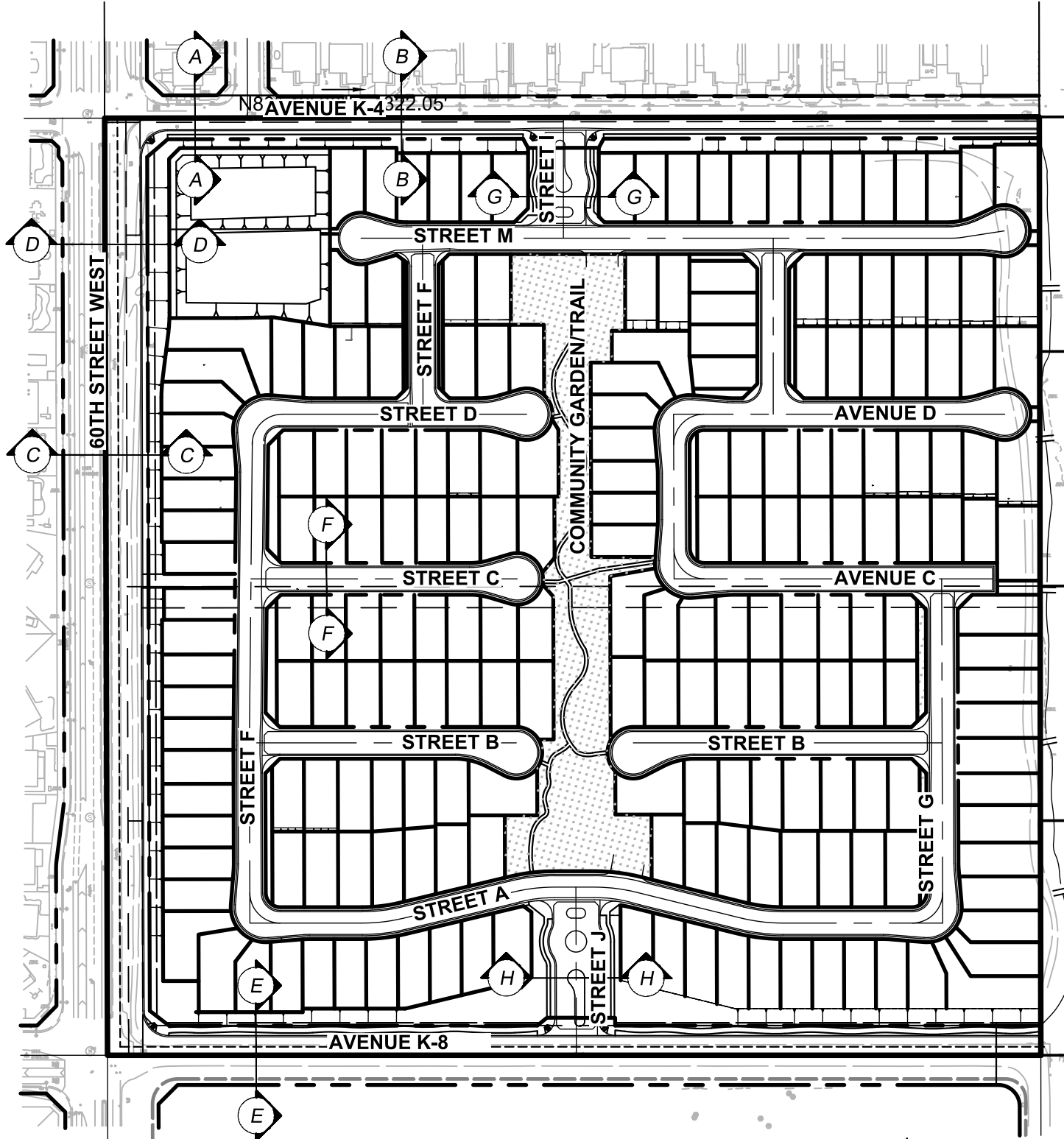
**AVENUE K-4: SECTION A-A**  
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NOT TO SCALE



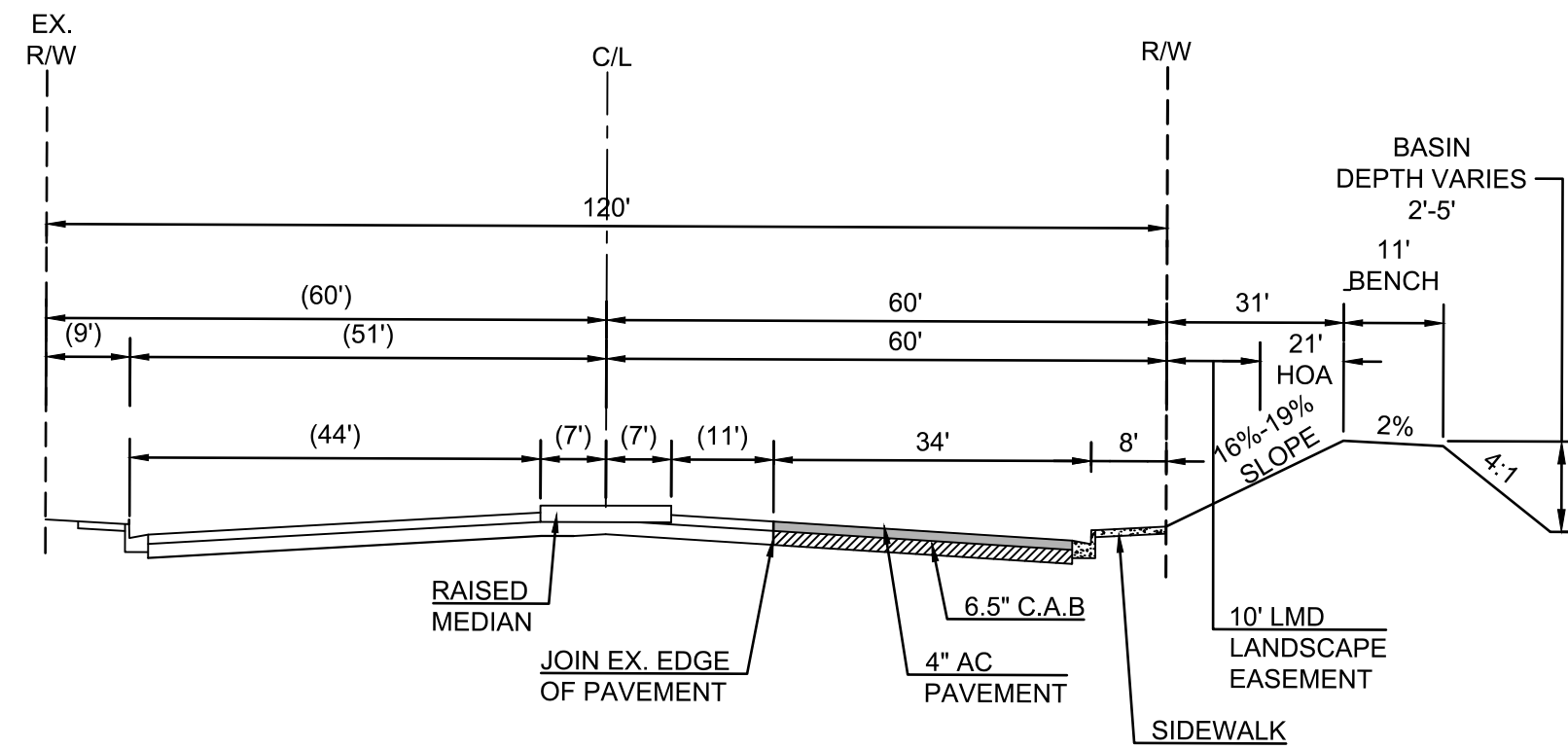
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**PUBLIC STREET**  
NOT TO SCALE



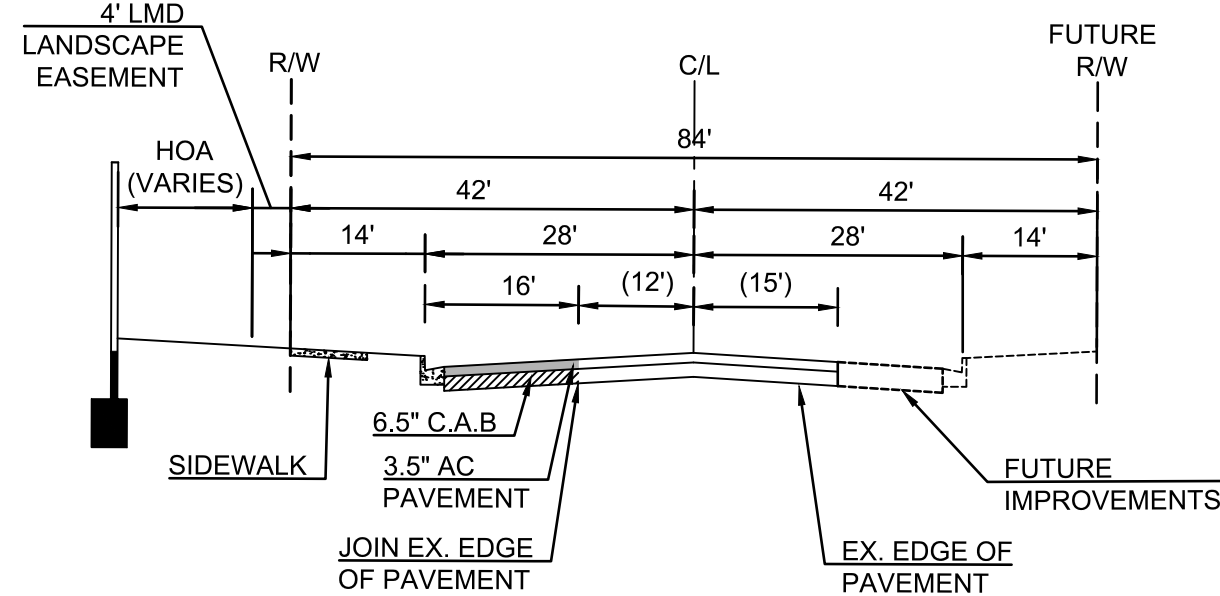
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**PUBLIC STREET**  
NOT TO SCALE



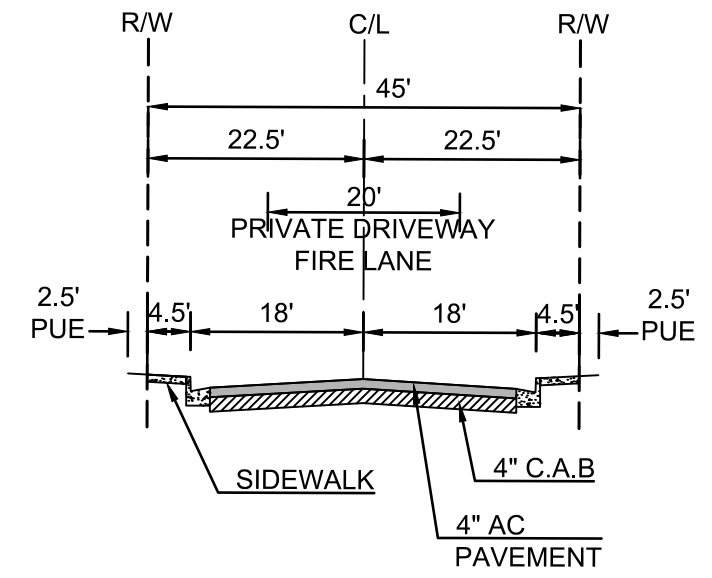
**STREET SECTION KEY MAP**  
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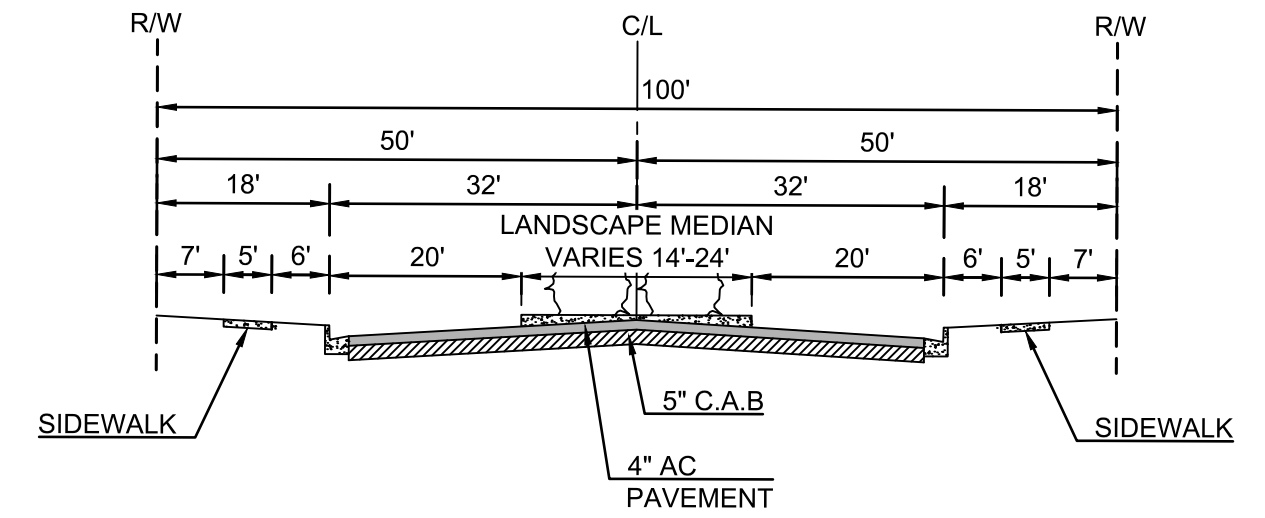
**60TH STREET WEST: SECTION D-D**  
**PUBLIC STREET**  
NOT TO SCALE



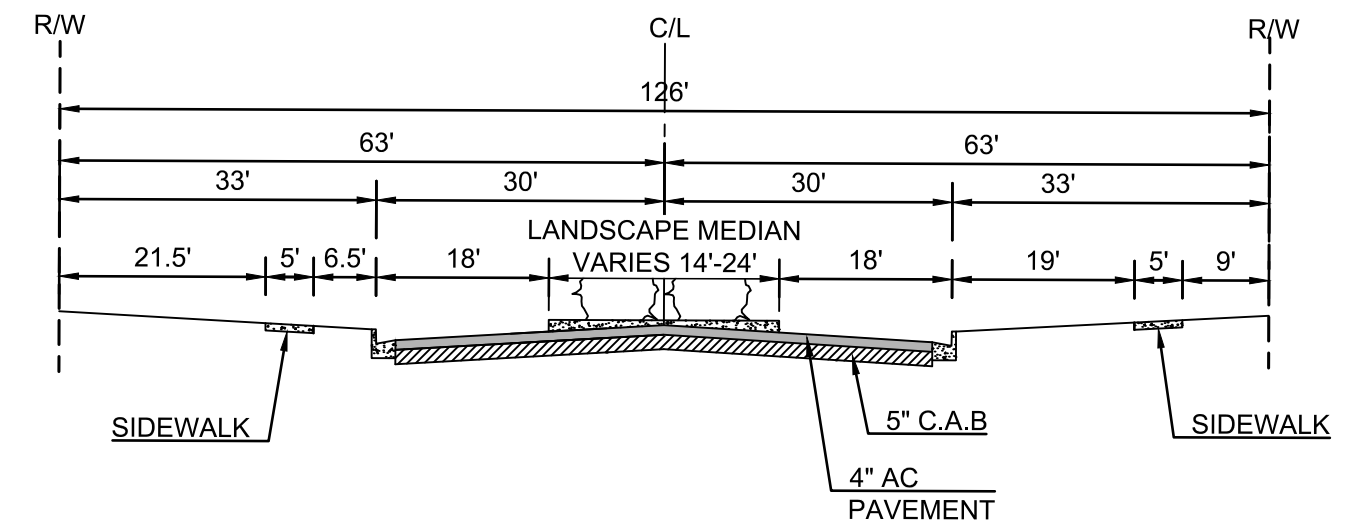
**AVENUE K-8: SECTION E-E**  
**PUBLIC STREET**  
NOT TO SCALE





**INTERIOR STREET: TYPICAL SECTION F-F**  
**PRIVATE STREET**  
STREETS A, B, C, D, F, G, M & AVENUES C, D  
NOT TO SCALE



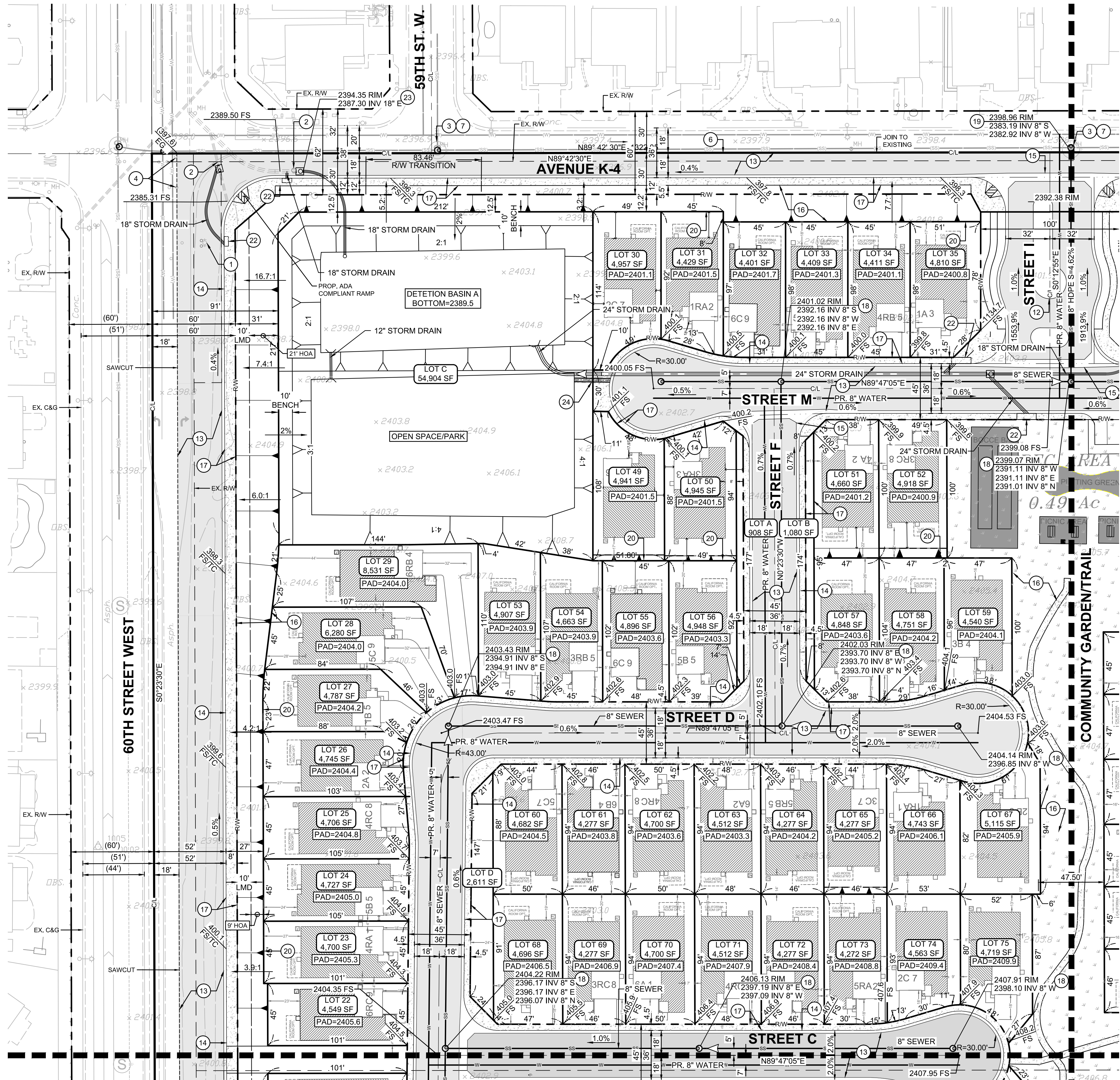
**ENTRY WAY: SECTION G-G**  
**PRIVATE STREET**  
STREET I  
NOT TO SCALE



**ENTRY WAY: SECTION H-H**  
**PRIVATE STREET**  
STREET J  
NOT TO SCALE

OWNER / DEVELOPER:		 <b>DAVID EVANS AND ASSOCIATES INC.</b>	41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300		RECORD RCE			REVISION BLOCK		CITY ENGINEER		CITY OF LANCASTER	
PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660					PREPARED UNDER THE SUPERVISION OF:			REV#	APPR	DATE	REVISION DESCRIPTION	APPR	DATE
DATE		JUSTIN A. BROWN R.C.E. NO. 85617			DATE							SCALE:	

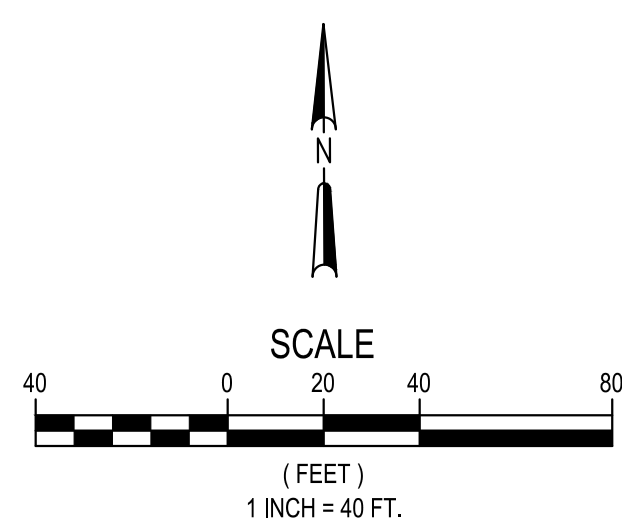




TENTATIVE MAP KEY NOTES

- 1 EXISTING FIRE HYDRANT TO BE RELOCATED.
- 2 EXISTING STORM DRAIN TO BE PROTECTED IN PLACE.
- 3 EXISTING SEWER LINE TO BE PROTECTED IN PLACE.
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- 9 EXISTING TREE/SHRUBS TO BE REMOVED.
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- 11 EXISTING UTILITY VAULT TO BE PROTECTED IN PLACE.
- 12 PROPOSED CURB.
- 13 PROPOSED AC PAVEMENT.
- 14 PROPOSED CURB AND GUTTER.
- 15 PROPOSED CROSS GUTTER.
- 16 PROPOSED LANDSCAPE.
- 17 PROPOSED CONCRETE SIDEWALK.
- 18 PROPOSED SEWER MANHOLE.
- 19 PROPOSED SEWER POINT OF CONNECTION.
- 20 PROPOSED RETAINING WALL.
- 21 PROPOSED CURB INLET.
- 22 PROPOSED STORM DRAIN MANHOLE.
- 23 PROPOSED REVERSE PARKWAY DRAIN.

NOTE:  
SEWER MAINS AND STORM DRAIN MAINS IN  
PRIVATE STREETS SERVING ONLY THIS  
TRACT SHALL BE PRIVATELY OWNED AND  
MAINTAINED.



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OWNER / DEVELOPER:  
PACIFIC COMMUNITIES  
BUILDER, INC.  
1000 DOVE ST, SUITE 100  
NEWPORT BEACH, CA 92660

DAVID EVANS  
AND ASSOCIATES INC.  
PREPARED UNDER THE SUPERVISION OF:  
JUSTIN A. BROWN R.C.E. NO. 85617

41951 Remington Avenue Suite 220  
Temecula California 92590-2553  
Phone: 951.294.9300

RECORD RCE  
REV# APPR DATE

REVISION BLOCK  
REVISION DESCRIPTION

CITY ENGINEER  
APPR DATE

CITY OF LANCASTER

TENTATIVE TRACT MAP 53642  
CONCEPTUAL GRADING & SITE PLAN

SCALE:

SHEET  
4 OF  
9 SHTS





**NOT A PART**

**NOT A PART**

- NOTE:**  
SEWER MAINS AND STORM DRAIN MAINS IN  
'PRIVATE STREETS' SERVING ONLY THIS  
TRACT SHALL BE PRIVATELY OWNED AND  
MAINTAINED.



SHEET  
5 OF  
9 SHTS

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Last Opened: Nov '15, 2022 - 10:08am by mima

 **DAVID EVANS  
AND ASSOCIATES INC.**  
PREPARED UNDER THE SUPERVISION OF

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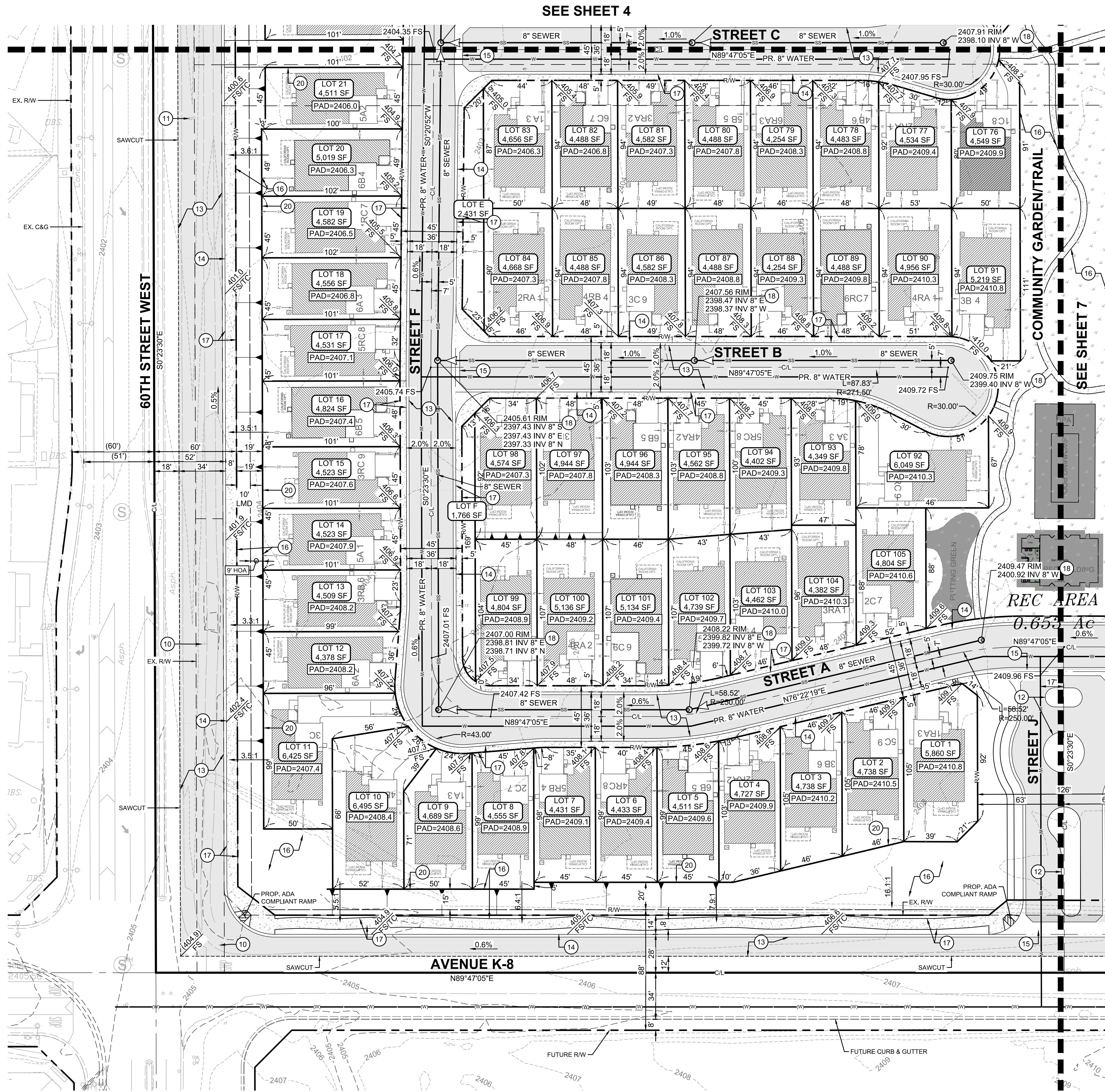
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	APPR	DATE

CITY OF LANCASTER

**TENTATIVE TRACT MAP 53642  
CONCEPTUAL GRADING & SITE PLAN**

SCALE

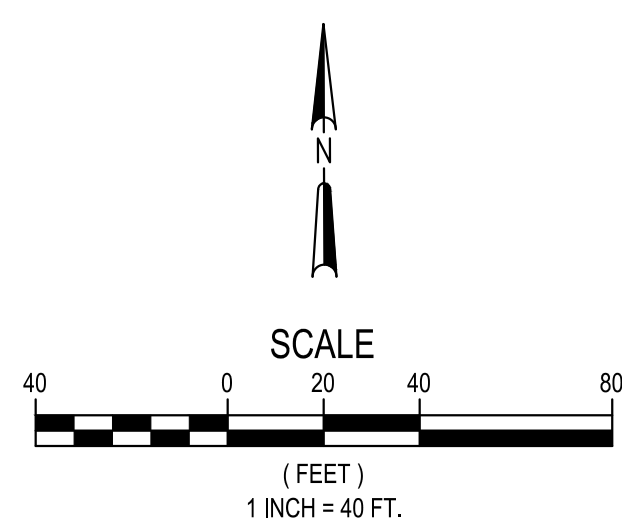




TENTATIVE MAP KEY NOTES

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PRIVATE STREETS SERVING ONLY THIS  
TRACT SHALL BE PRIVATELY OWNED AND  
MAINTAINED.



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OWNER / DEVELOPER:  
PACIFIC COMMUNITIES  
BUILDER, INC.  
1000 DOVE ST, SUITE 100  
NEWPORT BEACH, CA 92660

DAVID EVANS  
AND ASSOCIATES INC.  
PREPARED UNDER THE SUPERVISION OF:  
JUSTIN A. BROWN R.C.E. NO. 85617

41951 Remington Avenue Suite 220  
Temecula California 92590-2553  
Phone: 951.294.9300

RECORD RCE		
REV#	APPR	DATE

REVISION BLOCK	
REVISION DESCRIPTION	

CITY ENGINEER	
APPR	DATE

CITY OF LANCASTER

TENTATIVE TRACT MAP 53642  
CONCEPTUAL GRADING & SITE PLAN

SCALE:

SHEET

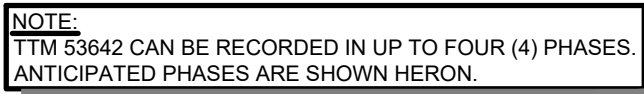
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SHTS





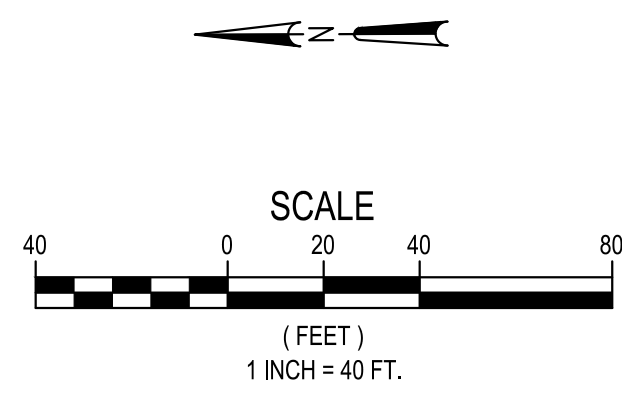
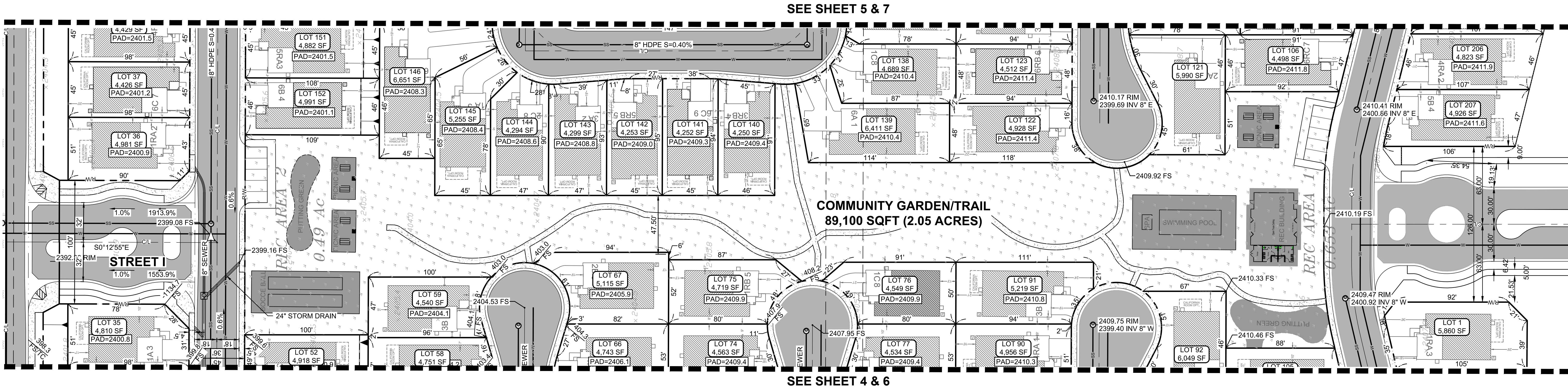




OWNER / DEVELOPER:		<div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div>DAVID EVANS AND ASSOCIATES INC.</div><div>41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300</div></div></div></div>		<div><div><div>REGISTERED PROFESSIONAL ENGINEER</div><div>JUSTIN A. BROWN</div><div>No. 85617</div><div>Exp. 09-30-22</div><div>CIVIL</div><div>STATE OF CALIFORNIA</div></div></div>		RECORD RCE			REVISION BLOCK			CITY ENGINEER		CITY OF LANCASTER	
PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660		PREPARED UNDER THE SUPERVISION OF:				REV#	APPR	DATE	REVISION DESCRIPTION	APPR	DATE	TENTATIVE TRACT MAP 53642 PHASING PLAN	SHEET		
JUSTIN A. BROWN R.C.E. NO. 85617		DATE											8 OF		
													9 SHTS		
												SCALE:			

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OWNER / DEVELOPER:  
PACIFIC COMMUNITIES  
BUILDER, INC.  
1000 DOVE ST, SUITE 100  
NEWPORT BEACH, CA 92660



41951 Remington Avenue Suite 220  
Temecula California 92590-2553  
Phone: 951.294.9300

PREPARED UNDER THE SUPERVISION OF:

JUSTIN A. BROWN R.C.E. NO. 85617

DATE



RECORD RCE			REVISION BLOCK		CITY ENGINEER	
REV#	APPR	DATE	REVISION DESCRIPTION		APPR	DATE

CITY OF LANCASTER

TENTATIVE TRACT MAP 53642  
CONCEPTUAL GRADING & SITE PLAN

SCALE:

SHEET

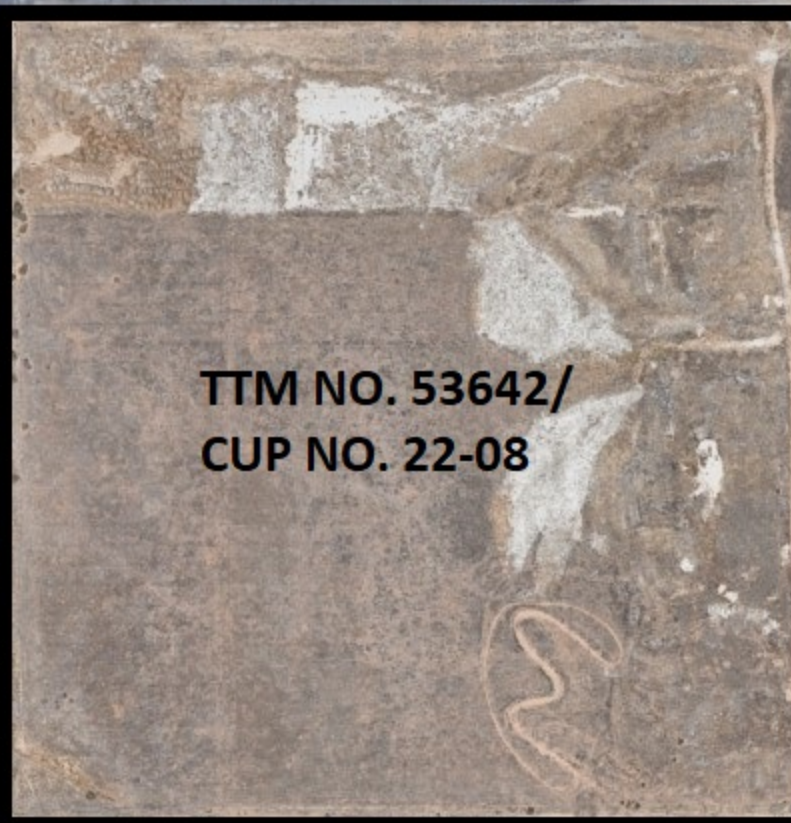
9 OF

9 SHTS





**Avenue K-4**



**TTM NO. 53642/  
CUP NO. 22-08**



**Avenue K-8**