

# TENTATIVE TRACT NO. 53642

## CITY OF LANCASTER

### DEVELOPER:

PACIFIC COMMUNITIES BUILDER, INC.  
1000 DOVE ST, SUITE 100  
NEWPORT BEACH, CA 92660  
CONTACT: RONALD FREEMAN

### CIVIL ENGINEER:

DAVID EVANS & ASSOCIATES, INC.  
17782 17TH STREET, SUITE 200  
TUSTIN, CA 92780  
CONTACT: JUSTIN BROWN

### POWER:

LANCASTER CHOICE ENERGY (LCE)  
44933 FERN AVENUE  
LANCASTER, CA 93534  
PHONE: (661) 723-6084

### GAS:

SOUTHERN CALIFORNIA GAS COMPANY  
44416 DIVISION STREET  
LANCASTER, CA 93535  
PHONE: (800) 427-2700

### WATER:

LA COUNTY WATER WORKS DISTRICT  
260 EAST AVENUE K-8  
LANCASTER, CA 93535  
PHONE: (661) 723-6084

### SEWER:

L.A. COUNTY SEWER MAINTENANCE  
45719 DIVISION STREET  
LANCASTER, CA 93535  
PHONE: (661) 942-6042

### COMMUNICATIONS:

FRONTIER COMMUNICATIONS  
42323 10TH STREET WEST  
LANCASTER, CA 93534  
PHONE: (885) 379-6546

### WASTE:

LANCASTER LANDFILL AND RECYCLING CENTER  
600 EAST AVENUE F  
LANCASTER, CA 93535  
PHONE: (661) 947-7197

### LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED LANCASTER, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

REAL PROPERTY IN THE CITY OF LANCASTER, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

EXHIBIT A:

PARCEL 1:  
THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 NORTH, RANGE 13 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF.

PARCEL 2:  
THE NORTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 NORTH, RANGE 13 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

PARCEL 3:  
THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF TEH NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 NORTH, RANGE 13 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL ON FEBRUARY 19, 1986.

EXCEPT THEREFORM 50 PERCENT OF OIL AND MINERAL RIGHTS, UNDER AND IN SAID LAND, AS RESERVED BY ARTHUR C. ROMSTAD ADN HILDA C. ROMSTAD, HUSBAND AND WIFE, AS JOINT TENANTS IN DEED RECORDED JULY 25, 1957, IN BOOK 55146, PAGE 277 OF THE OFFICIAL RECORDS.

### ASSESSOR'S PARCEL NUMBER:

3204-009-026  
3204-009-079  
3204-009-081

### EASEMENT DATA:

EASEMENTS SHOWN HEREON ARE BASED ON A COPY OF TITLE INSURANCE REPORT PROVIDED BY FIDELITY NATIONAL TITLE COMPANY DATED AUGUST 03, 2021, AS ORDER NO. 00157862-997-B55-MM7. DAVID EVANS AND ASSOCIATES DOES NOT ACCEPT RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THIS INFORMATION PROVIDED BY THESE REPORTS.

- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES RECORDED IN BOOK 4634, PAGE 334, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC UTILITIES PURPOSES RECORDED AUGUST 03, 1949, IN DOCUMENT NO. 2080 IN BOOK 30691, PAGE 359, OF OFFICIAL RECORDS
- AN EASEMENT FOR POLES PURPOSES RECORDED NOVEMBER 04, 1954, IN BOOK 46027, PAGE 18, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC STREET, ROAD OR HIGHWAY PURPOSES RECORDED AUGUST 14, 1957, IN BOOK 55326, PAGE 347, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES RECORDED OCTOBER 28, 1959, IN BOOK D-847, PAGE 286, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC UTILITIES PURPOSES RECORDED AUGUST 16, 1960, DOCUMENT NO. 3738, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED MAY 16, 2006, DOCUMENT NO. 2006-1076401, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED APRIL 05, 2016, DOCUMENT NO. 2016-374221, OF OFFICIAL RECORDS

### BASIS OF COORDINATES:

THE COORDINATES SHOWN HEREON ARE BASED THE CALIFORNIA SYSTEM OF 1983, CCS83, ZONE 5, (2017.50) IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID COORDINATED ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK, OR EQUIVALENT STATIONS:

### BENCHMARK DATA:

ELEVATIONS AS SHOWN HEREON ARE IN TERMS OF THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 BASED LOCALLY UPON THE FOLLOWING LOS ANGELES COUNTY PUBLIC WORKS SURVEY SECTION DATUM BENCHMARKS:

DESIGNATION TL6345  
ELEVATION (FT) 2391.094  
DESCRIPTION FD, L&BM TAG S CB OF EAST ISLAND OF FUTURE C/L DIVIDER 1FT E/O BCR @ INT OF AVE K & 60TH ST W

### ZONING CLASSIFICATION:

EXISTING: R-7.000  
PER CITY OF LANCASTER ZONING MAP (2015)  
PROPOSED: R-7.000

### LAND USE CLASSIFICATION:

EXISTING: UR - URBAN RESIDENTIAL (2.1 - 6.5 DU/AC)  
PER CITY OF LANCASTER GENERAL PLAN LAND USE MAP (2009)  
PROPOSED: UR - URBAN RESIDENTIAL (2.1 - 6.5 DU/AC)

### PROJECT INFORMATION AND DEVELOPMENT STANDARDS

NUMBER OF LOTS .....208  
NET ACREAGE .....35.88 AC  
NET DENSITY .....5.6 DU/AC  
MIN. LOT SIZE .....4,250 SF  
MIN. HOME SIZE .....1,600 SF  
MAX. SINGLE LOT BUILDING COVERAGE .....50%  
TOTAL OPEN SPACE .....5.86 ACRES  
TOTAL OPEN SPACE (% OF NETACREAGE) .....16.33%

MAX. DWELLING BUILDING HEIGHT .....25'  
MAX. NON-DWELLING/REC. BUILDING HEIGHT .....35'

MIN. FRONT SETBACK (TO GARAGE) .....18'  
MIN FRONT SETBACK (TO LIVING SPACE & PORCH) .....8'  
MIN. SIDE SETBACK .....4'  
MIN REAR SETBACK (PRIMARY BUILDING) .....10'  
MIN REAR SETBACK (AUXILIARY - CALIFORNIA ROOM OR TRELLIS) .....5'

DRIVEWAY APPROACHES SHALL BE 40% OR LESS OF THE LOT FRONTAGE OR AS SHOWN ON THE TTM.  
TTM CAN BE RECORDED IN UP TO FOUR (4) PHASES. ANTICIPATED PHASES ARE SHOWN ON SHEET 8.  
WALLS AND FENCING: ALL STREET FACING SIDE and STREET FACING REAR YARDS WILL BE BLOCK. ALL OTHER INTERIOR FENCING WILL BE VINYL.

### ABBREVIATIONS:

APN	ASSESSOR'S PARCEL NUMBER	MH	MANHOLE
AC	ASPHALT CONCRETE	P/L	PROPERTY LINE
C/L	CENTERLINE	R/W	RIGHT OF WAY
CO	CLEANOUT	RCB	REINFORCED CONCRETE BOX
CMP	CORRUGATED METAL PIPE	RCP	REINFORCED CONCRETE PIPE
ELEV	ELEVATION	SF	SQUARE FEET
ESMT	EASEMENT	SD	STORM DRAIN
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	STA	STATION
FG	FINISHED GRADE	SWR	SEWER
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TG	TOP OF GRATE
FS	FINISHED SURFACE	WTR	WATER
GV	GATE VALVE		
INV	INVERT		
LF	LINEAR FEET		

### SOURCE OF TOPOGRAPHY:

COMPILED BY PHOTOGRAMMETRIC METHODS  
FROM AERIAL PHOTOGRAPHY BY:  
INLAND AERIAL SURVEYS, INC.  
7117 ARLINGTON AVENUE, SUITE A  
RIVERSIDE, CA 92503  
TEL: 951.687.4252  
DATED 08.19.2021

CONTROL SET BY MEYER LAND SURVEYING

### FLOOD DESIGNATION:

PER FEMA MAP PANEL 415 OF 2350, MAP NUMBER 06037C0415F, EFFECTIVE DATE SEPTEMBER 26, 2008;  
SUBJECT PROPERTY IS DETERMINED TO BE ZONE X - AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANGE FLOODPLAIN WITH SOUTHEAST CORNER INSIDE 0.2% ANNUAL CHANGE FLOODPLAIN.

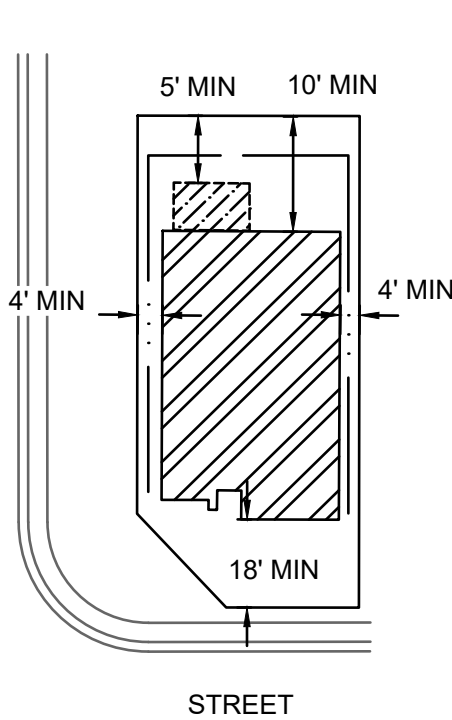
PER THE FEMA WEBSITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV

### SHEET INDEX

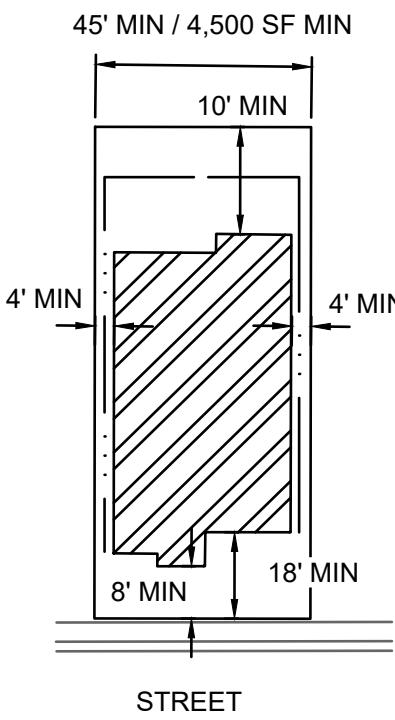
SHEET 1.....TITLE SHEET  
SHEET 2.....EXISTING PROPERTY & TOPOGRAPHY  
SHEET 3.....STREET SECTIONS  
SHEET 4.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 5.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 6.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 7.....CONCEPTUAL GRADING & SITE PLAN  
SHEET 8.....PHASING PLAN  
SHEET 9.....CONCEPTUAL GRADING AND SITE PLAN

### UTILITY NOTE

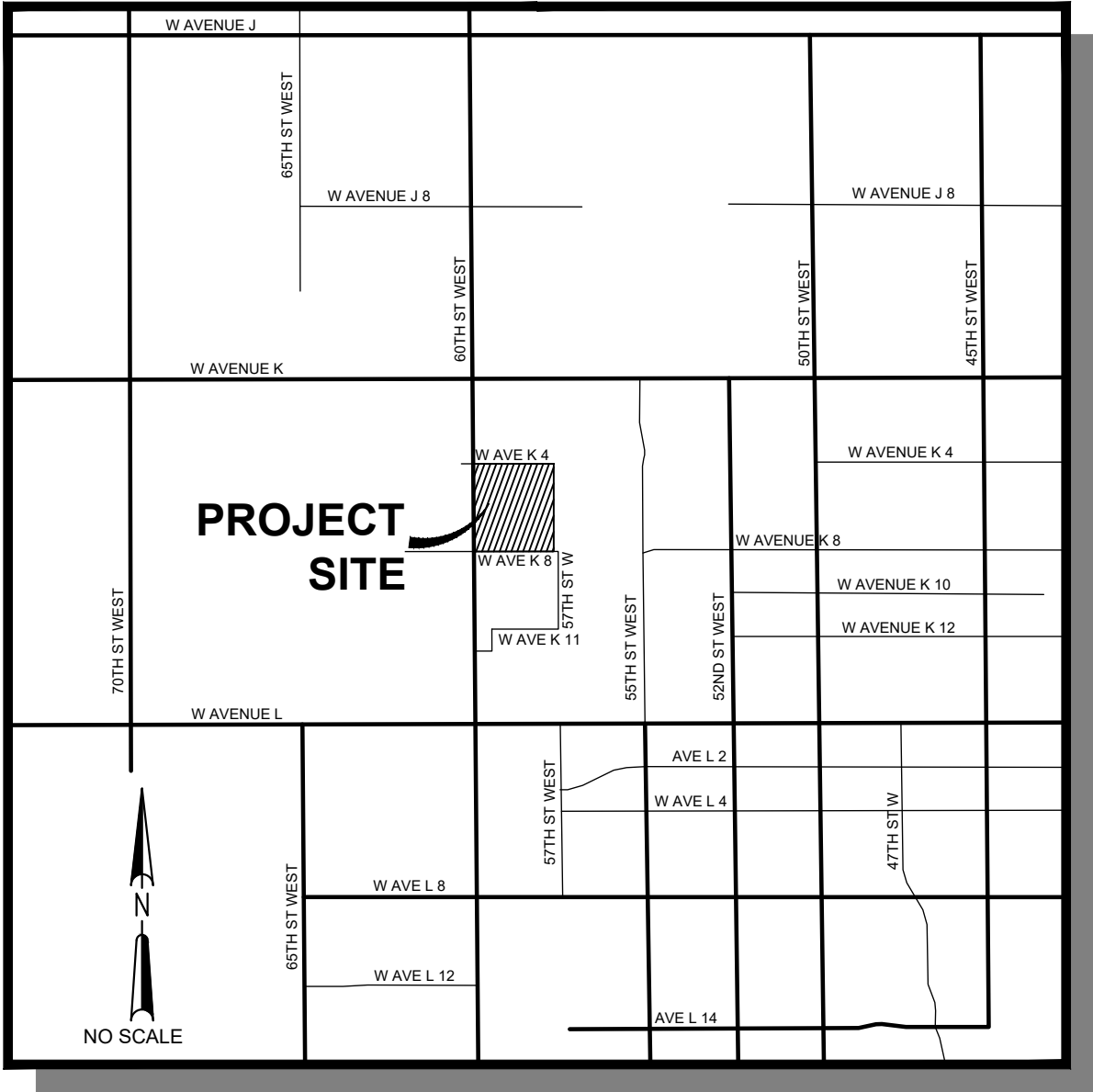
SEWER AND STORM DRAINS LOCATED IN PRIVATE STREETS WILL BE PRIVATE FACILITIES MAINTAINED BY THE HOA.



SETBACK LINES  
CORNER LOT DETAIL  
NOT TO SCALE



SETBACK LINES  
MID LOT DETAIL  
NOT TO SCALE



### LEGEND: EXISTING IMPROVEMENTS

PROPERTY LINE	---
EXISTING LOT LINE	---
RIGHT OF WAY LINE	---
STREET CENTERLINE	---
EXISTING TREE	~ ~ ~ ~ ~
EXISTING CONTOUR MAJOR	---
EXISTING CONTOUR MINOR	---
EXISTING CHAIN-LINK FENCE	---
EXISTING ROAD	---
EXISTING TRUNK SEWER MAIN	---
EXISTING SEWER MAIN	---
EXISTING WATER MAIN	---
EXISTING STORM DRAIN	---
EXISTING SD STRUCTURE	---

### LEGEND: PROPOSED IMPROVEMENTS

PROPOSED PROPERTY LINE	---
PROPOSED EASEMENT LINE	---
PROPOSED SAWCUT LINE	---
PROPOSED SEWER MAIN	---
PROPOSED SEWER MH	---
PROPOSED WATER MAIN	---
PROPOSED WATER VALVE	---
PROPOSED THRUST BLOCK	---
PROPOSED STORM DRAIN	---
PROPOSED STORM DRAIN INLET	---

### LEGEND: PROPOSED SURFACES

ASPHALT CONCRETE	---
CONCRETE WALKWAY	---
LANDSCAPE	---

### GROSS LAND AREA:

THE NET LAND AREA UPON JOINT USE AND LEASED AREA IS AS FOLLOWS:

TOTAL OWNED PROPERTY (GROSS LAND AREA)	1,752,750 SF	40.24 ACRES
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### NET LAND AREA:

THE NET LAND AREA UPON JOINT USE AND LEASED AREA IS AS FOLLOWS:

TOTAL OWNED PROPERTY (GROSS LAND AREA)	1,752,750 SF	40.24 ACRES
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AREA FOR THE PUBLIC R/W	173,525 SF	3.98 ACRES
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LANDSCAPE MAINTENANCE DISTRICT (LMD AREA)	16,675 SF	0.38 ACRES
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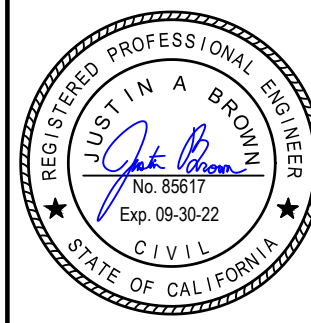
TOTAL NET	1,562,550 SF	35.88 ACRES
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### CITY OF LANCASTER

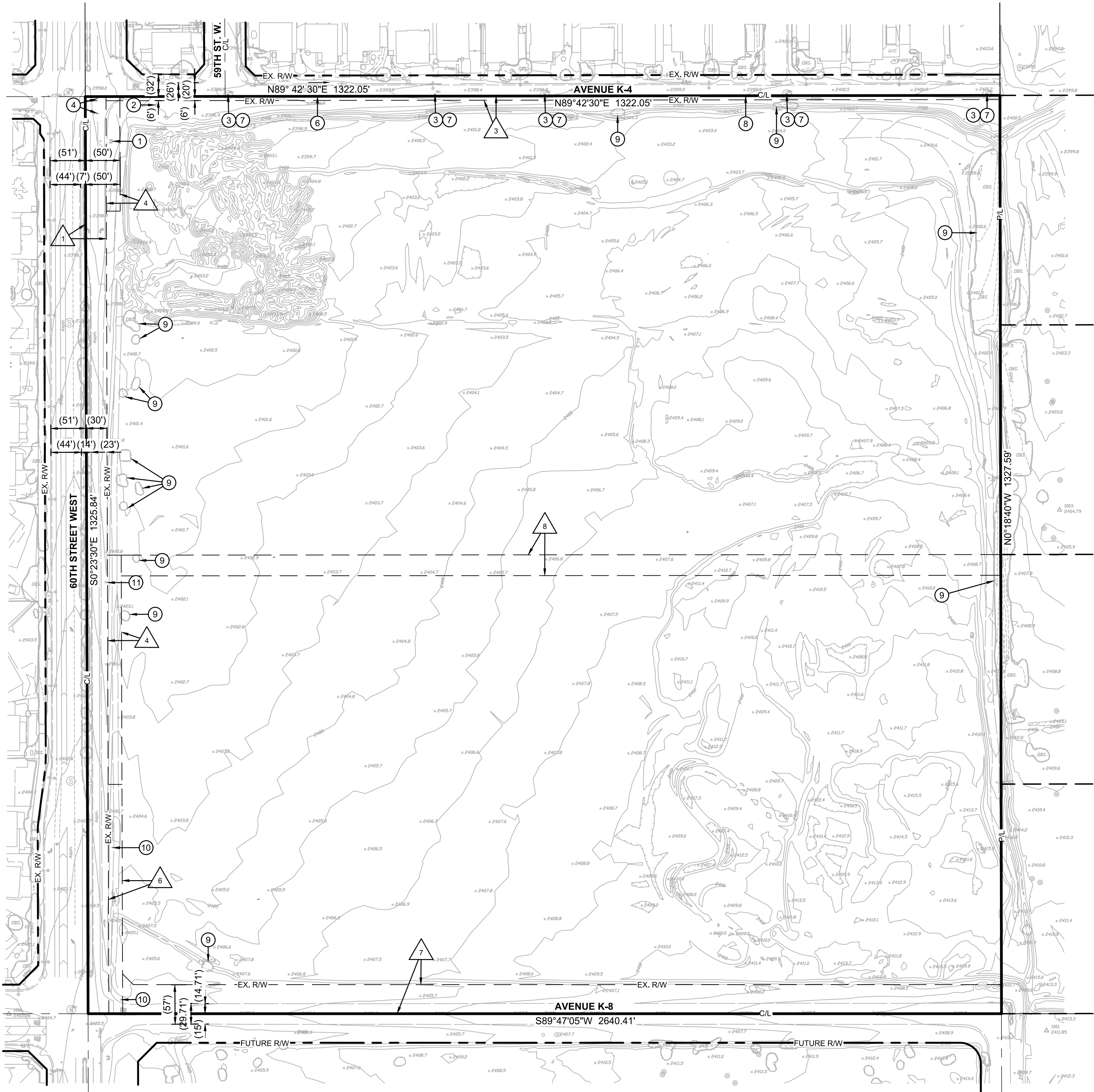
### TENTATIVE TRACT MAP 53642 TITLE SHEET

SHEET  
**1**  
**9** OF  
SHTS

SCALE:

OWNER / DEVELOPER: PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660	 DAVID EVANS AND ASSOCIATES INC. PREPARED UNDER THE SUPERVISION OF: JUSTIN A. BROWN R.C.E. NO. 85617	41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300		RECORD RCE REV# APPR DATE	REVISION BLOCK REVISION DESCRIPTION	CITY ENGINEER APPR DATE	CITY OF LANCASTER TENTATIVE TRACT MAP 53642 TITLE SHEET	SHEET <b>1</b> <b>9</b> OF SHTS
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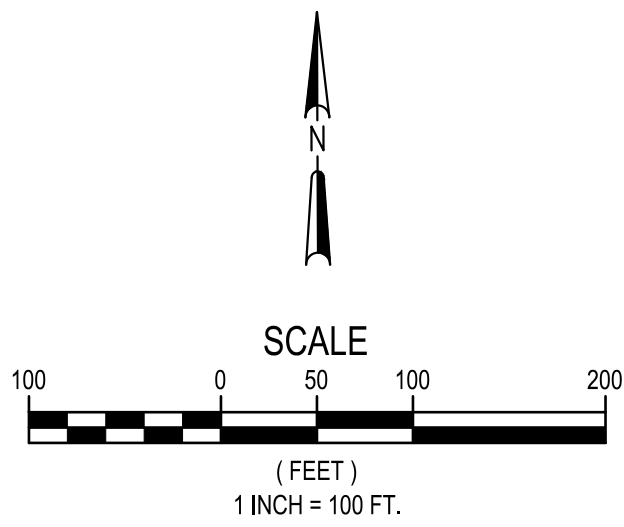
TENTATIVE MAP KEY NOTES

- EXISTING FIRE HYDRANT TO BE RELOCATED.
- EXISTING STORM DRAIN TO BE PROTECTED IN PLACE.
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EASEMENT DATA:

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- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES RECORDED OCTOBER 18, 1959, IN BOOK D-647, PAGE 186, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC UTILITIES PURPOSES RECORDED AUGUST 16, 1960, DOCUMENT NO. 3738, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED MAY 16, 1006, DOCUMENT NO. 1006-1076401, OF OFFICIAL RECORDS
- AN EASEMENT FOR PUBLIC ROAD, HIGHWAY AND UTILITY PURPOSES RECORDED APRIL 05, 1016, DOCUMENT NO. 1016-374111, OF OFFICIAL RECORDS

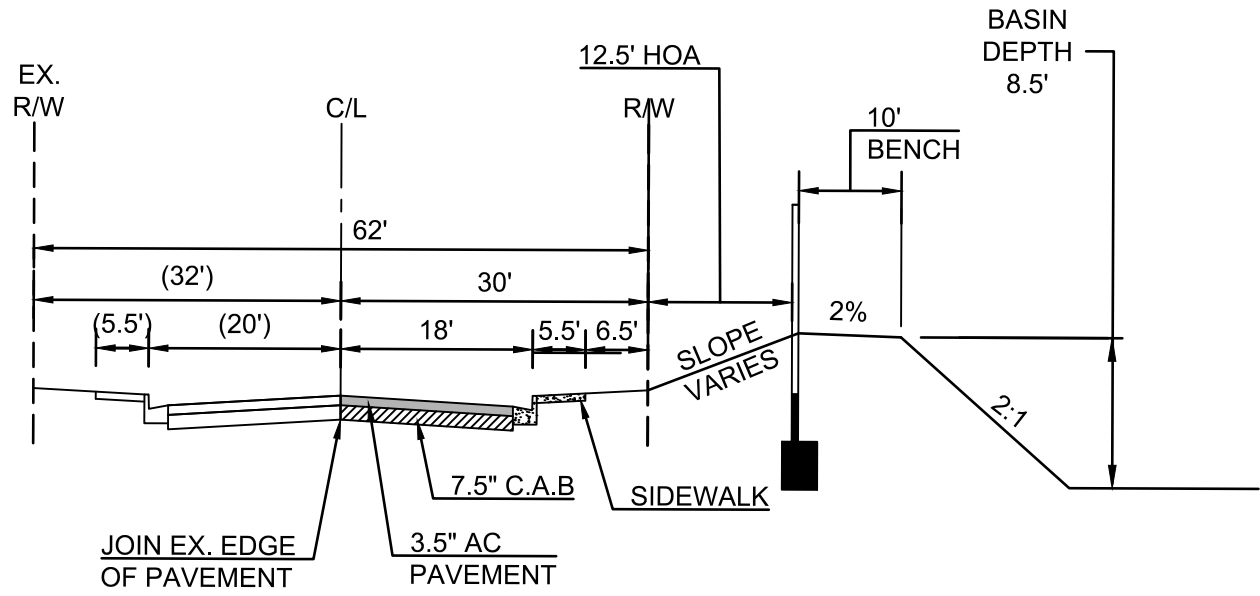


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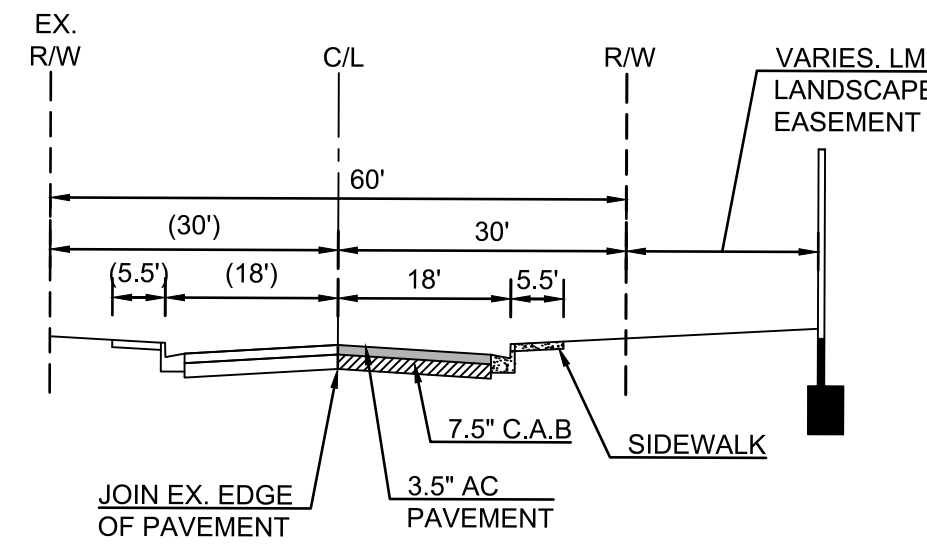
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PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660			PREPARED UNDER THE SUPERVISION OF:			REVISION DESCRIPTION		APPR DATE		TENTATIVE TRACT MAP 53642 EXISTING PROPERTY & TOPOGRAPHY				
		JUSTIN A. BROWN R.C.E. NO. 85617								SCALE:				
		DATE												



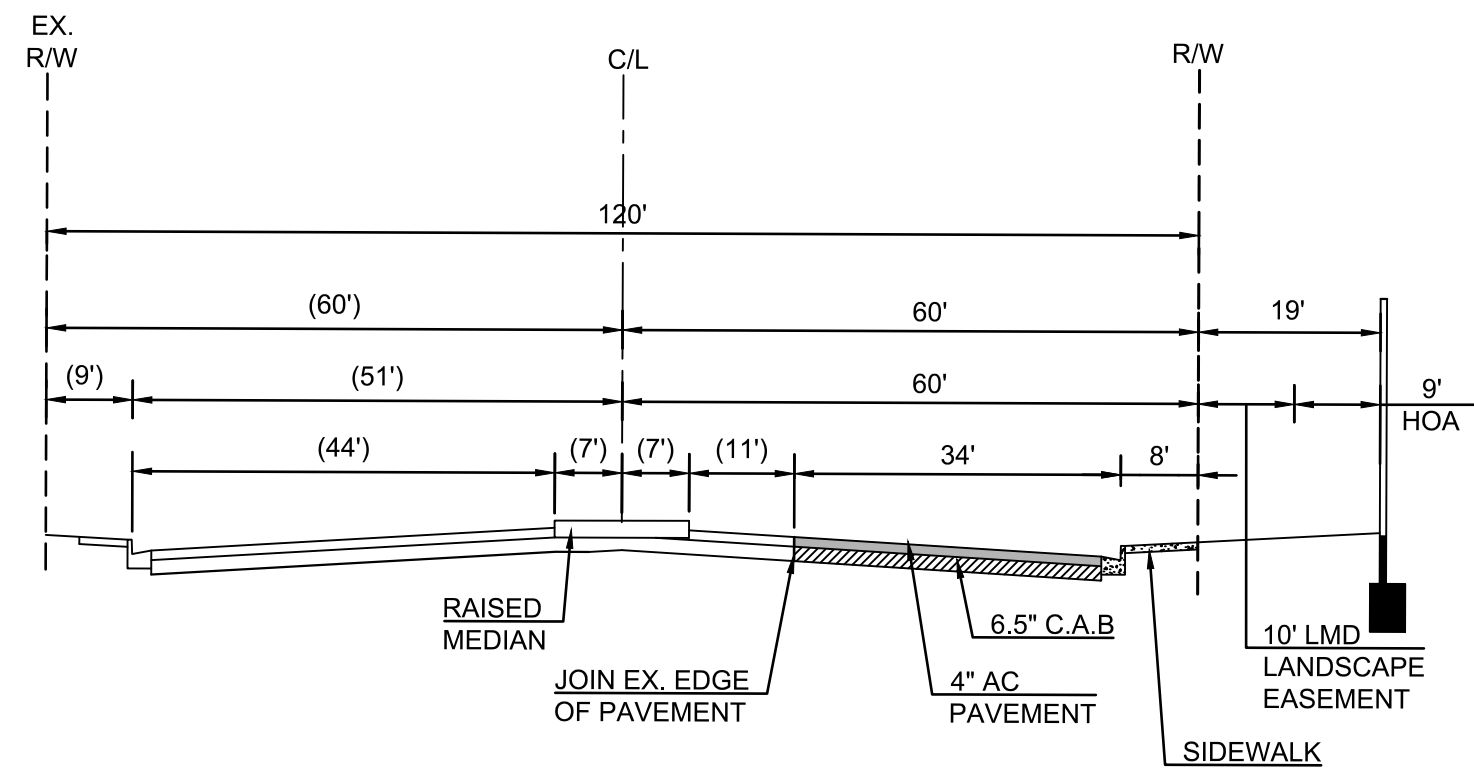
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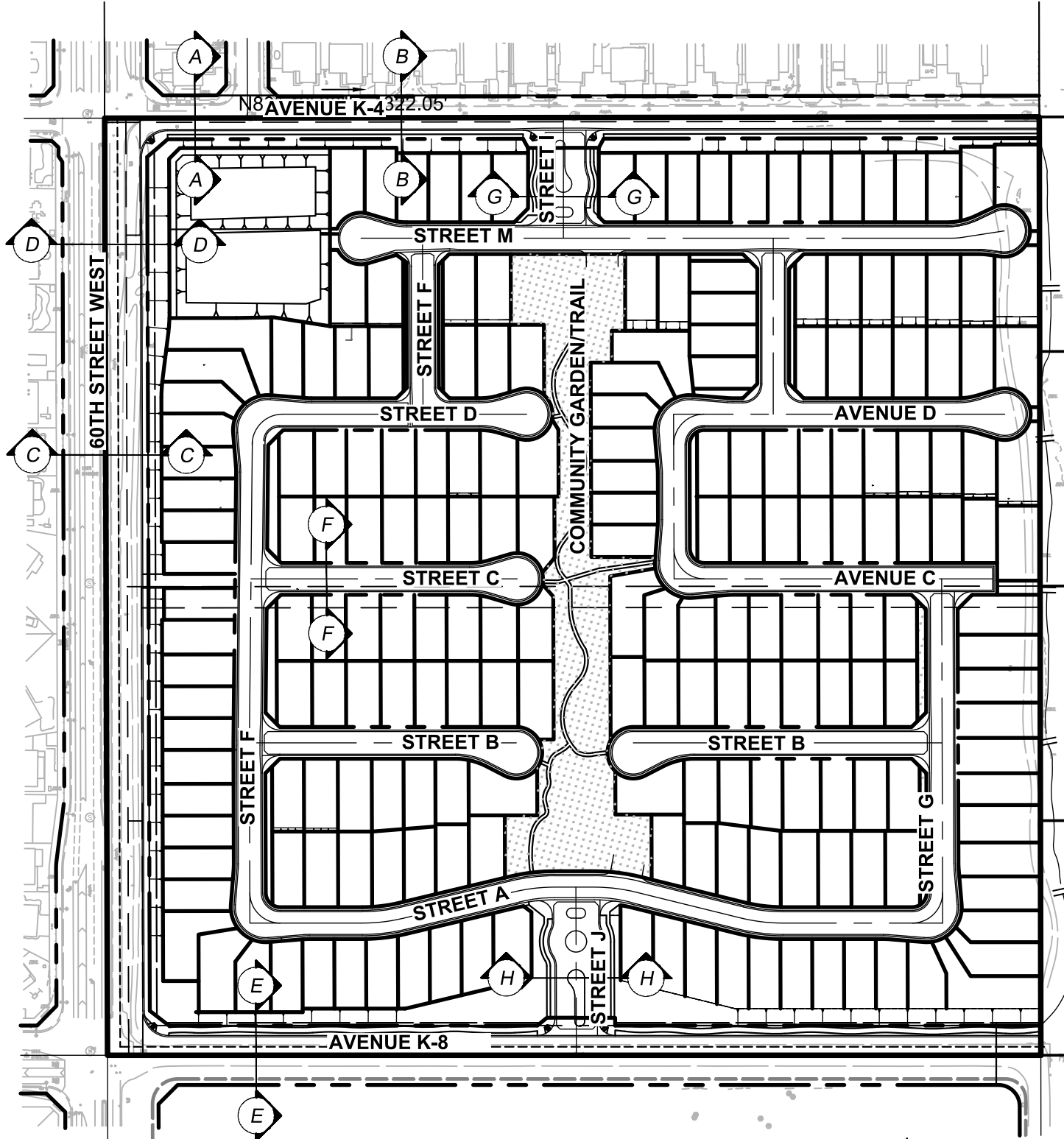
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**PUBLIC STREET**  
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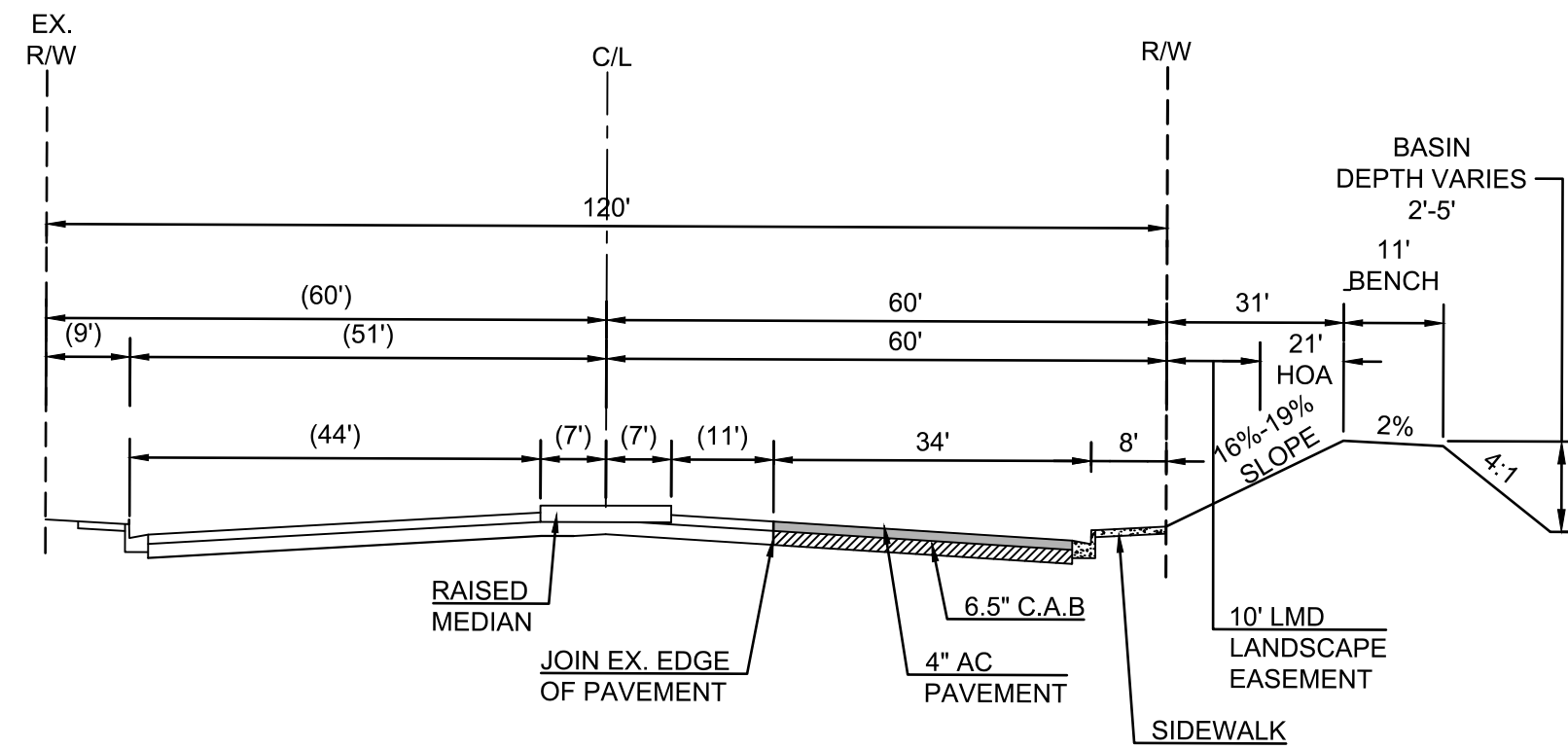
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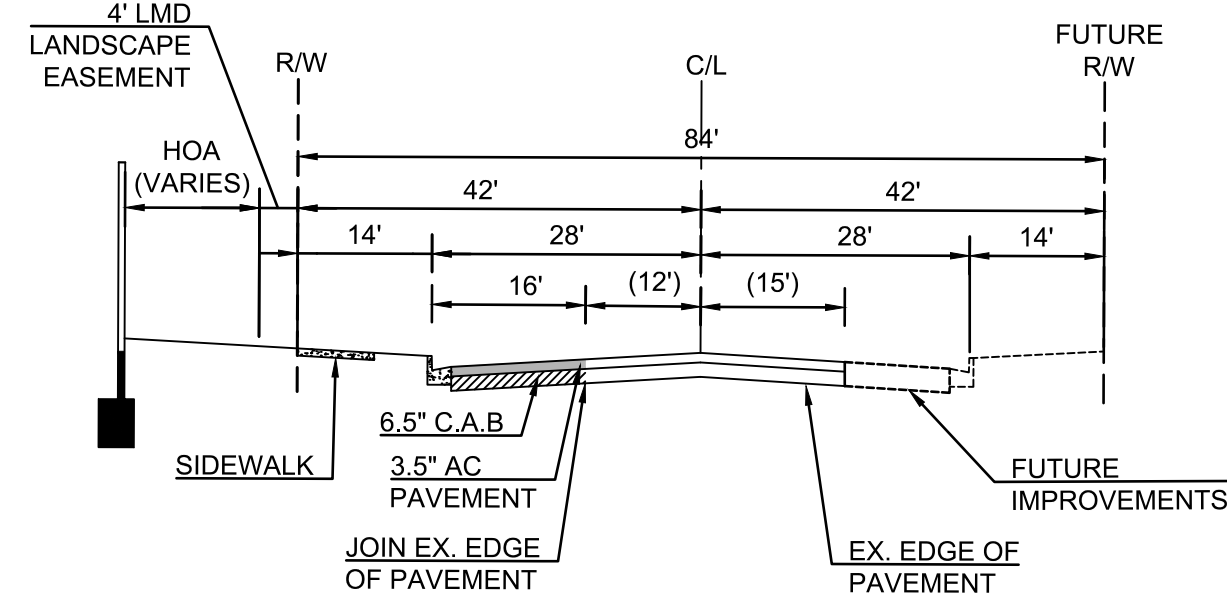
**60TH STREET WEST: SECTION C-C**  
**PUBLIC STREET**  
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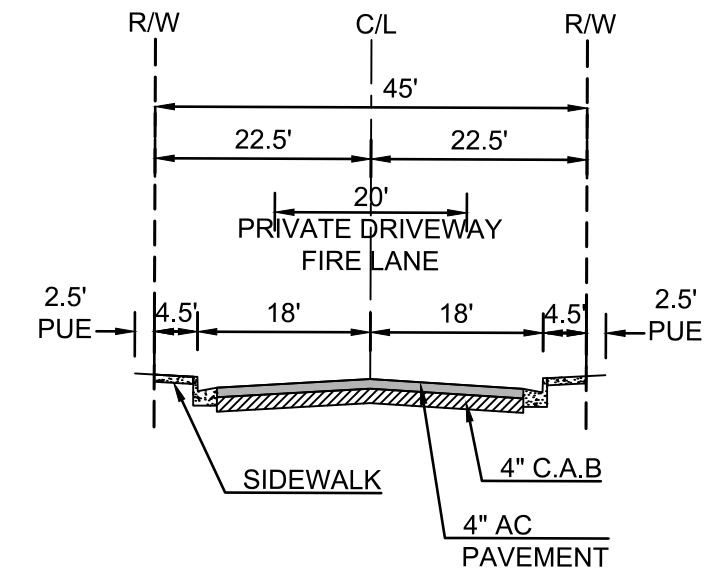
**STREET SECTION KEY MAP**  
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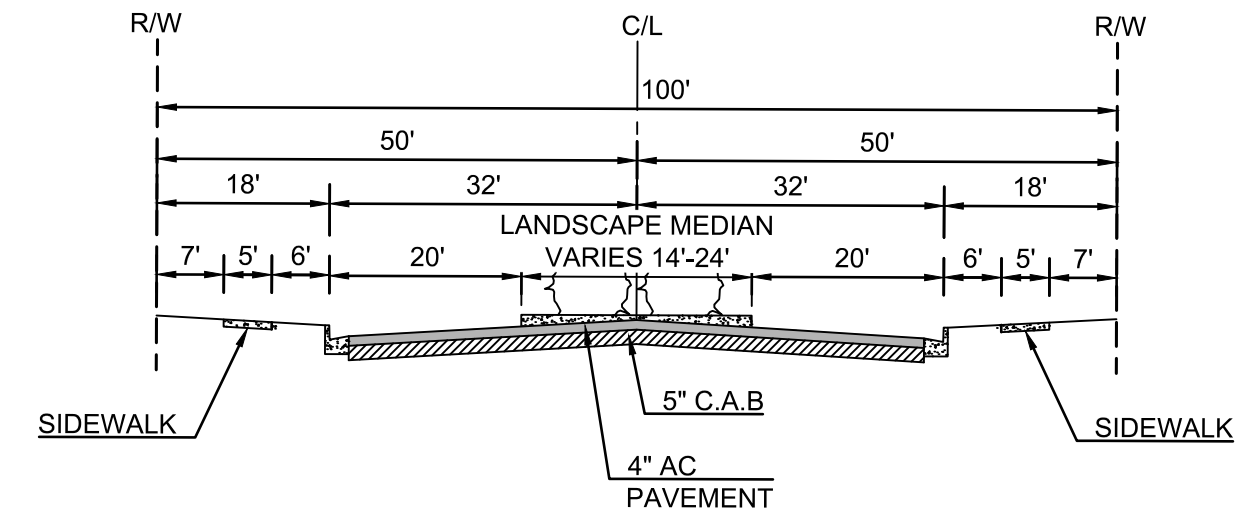
**60TH STREET WEST: SECTION D-D**  
**PUBLIC STREET**  
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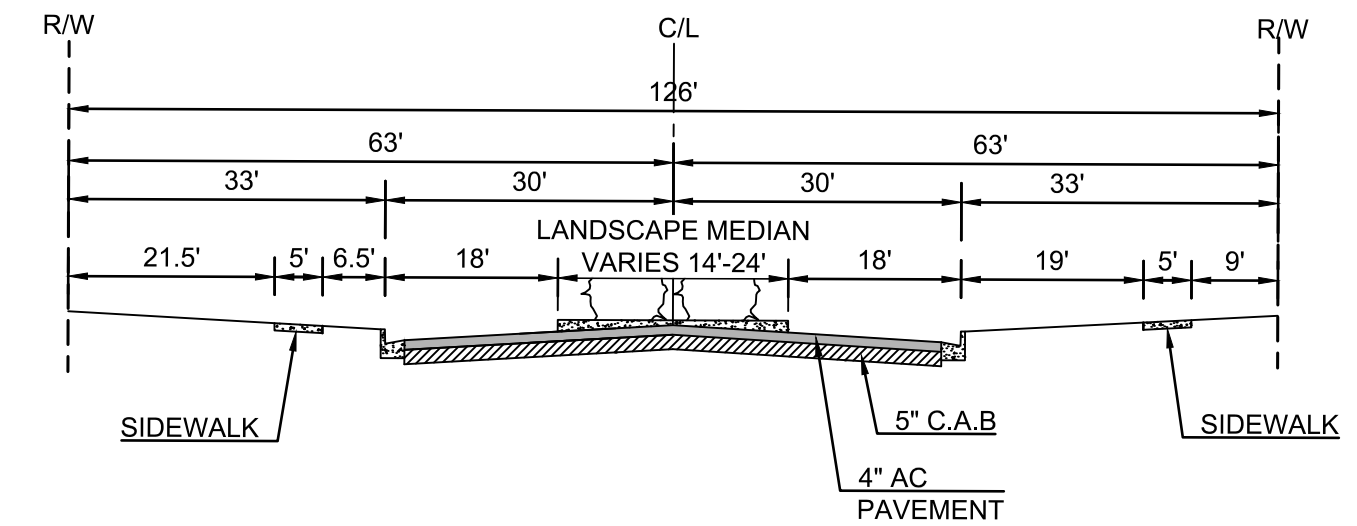
**AVENUE K-8: SECTION E-E**  
**PUBLIC STREET**  
NOT TO SCALE





**INTERIOR STREET: TYPICAL SECTION F-F**  
**PRIVATE STREET**  
STREETS A, B, C, D, F, G, M & AVENUES C, D  
NOT TO SCALE



**ENTRY WAY: SECTION G-G**  
**PRIVATE STREET**  
STREET I  
NOT TO SCALE



**ENTRY WAY: SECTION H-H**  
**PRIVATE STREET**  
STREET J  
NOT TO SCALE

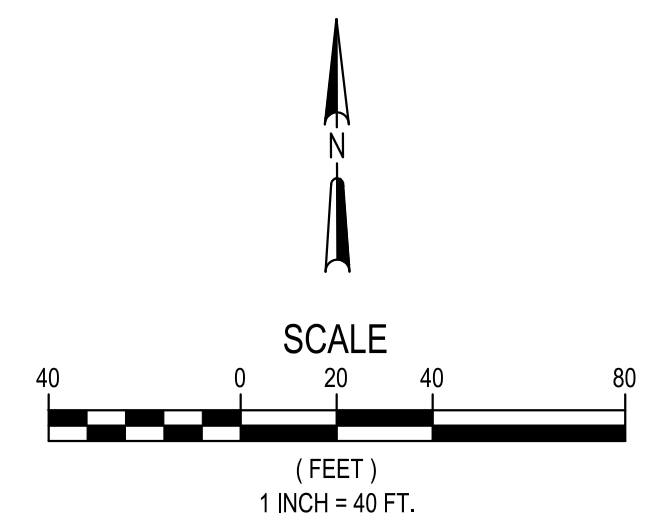
OWNER / DEVELOPER:		 <b>DAVID EVANS AND ASSOCIATES INC.</b>	41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300		RECORD RCE			REVISION BLOCK			CITY ENGINEER		CITY OF LANCASTER			
PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660					PREPARED UNDER THE SUPERVISION OF:			REV#	APPR	DATE	REVISION DESCRIPTION			APPR	DATE	<b>TENTATIVE TRACT MAP 53642 STREET SECTIONS</b>
		JUSTIN A. BROWN R.C.E. NO. 85617			DATE									SCALE:		







# COMMUNITY GARDEN/TRAIL

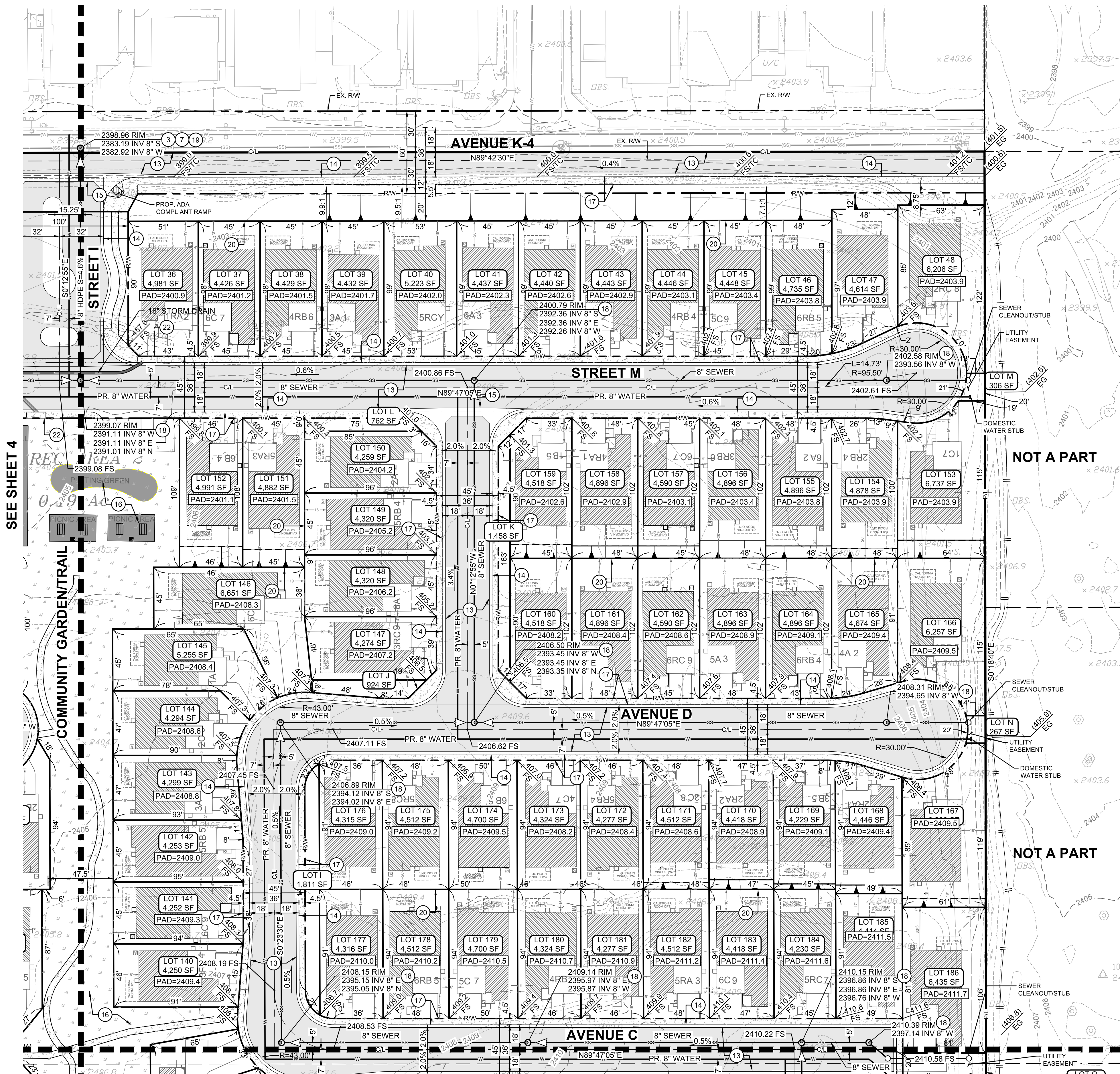
**NOTE:**  
SEWER MAINS AND STORM DRAIN MAINS IN 'PRIVATE STREETS' SERVING ONLY THIS TRACT SHALL BE PRIVATELY OWNED AND MAINTAINED.



OWNER / DEVELOPER:  PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660	<div><b>DAVID EVANS AND ASSOCIATES INC.</b></div> <div>41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300</div>	<div></div>	RECORD RCE			REVISION BLOCK			CITY ENGINEER		CITY OF LANCASTER		SHEET <div>4</div> OF <div>9</div> SHTS
			REV#	APPR	DATE	REVISION DESCRIPTION			APPR	DATE	<div>TENTATIVE TRACT MAP 53642 CONCEPTUAL GRADING &amp; SITE PLAN</div> <div>SCALE:</div>		
PREPARED UNDER THE SUPERVISION OF:  JUSTIN A. BROWN R.C.E. NO. 85617		DATE											

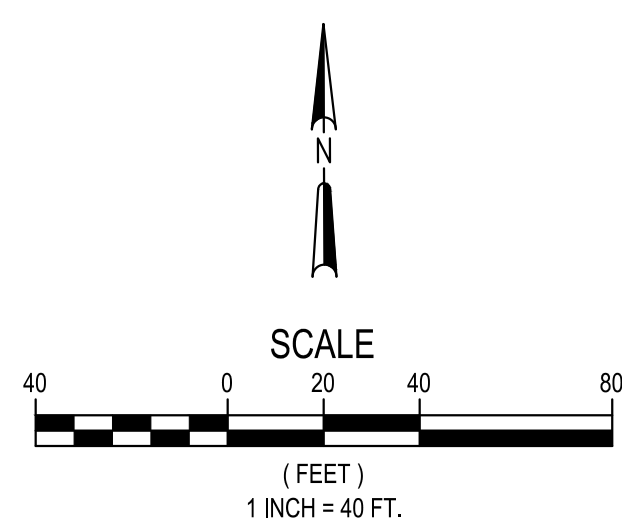
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- TENTATIVE MAP KEY NOTES**
- 1 EXISTING FIRE HYDRANT TO BE RELOCATED.
  - 2 EXISTING STORM DRAIN TO BE PROTECTED IN PLACE.
  - 3 EXISTING SEWER LINE TO BE PROTECTED IN PLACE.
  - 4 EXISTING WATER LINE AND APPURTENANCES TO BE PROTECTED IN PLACE.
  - 5 EXISTING POWER POLE TO BE PROTECTED IN PLACE.
  - 6 EXISTING CHAIN LINK FENCE TO BE REMOVED.
  - 7 EXISTING MANHOLE TO BE PROTECTED IN PLACE.
  - 8 EXISTING FIRE HYDRANT TO BE PROTECTED IN PLACE.
  - 9 EXISTING TREE/SHRUBS TO BE REMOVED.
  - 10 EXISTING SIGN TO BE RELOCATED.
  - 11 EXISTING UTILITY VAULT TO BE PROTECTED IN PLACE.
  - 12 PROPOSED CURB.
  - 13 PROPOSED AC PAVEMENT.
  - 14 PROPOSED CURB AND GUTTER.
  - 15 PROPOSED CROSS GUTTER.
  - 16 PROPOSED LANDSCAPE.
  - 17 PROPOSED CONCRETE SIDEWALK.
  - 18 PROPOSED SEWER MANHOLE.
  - 19 PROPOSED SEWER POINT OF CONNECTION.
  - 20 PROPOSED RETAINING WALL.
  - 22 PROPOSED CURB INLET.
  - 23 PROPOSED STORM DRAIN MANHOLE.
  - 24 PROPOSED REVERSE PARKWAY DRAIN.

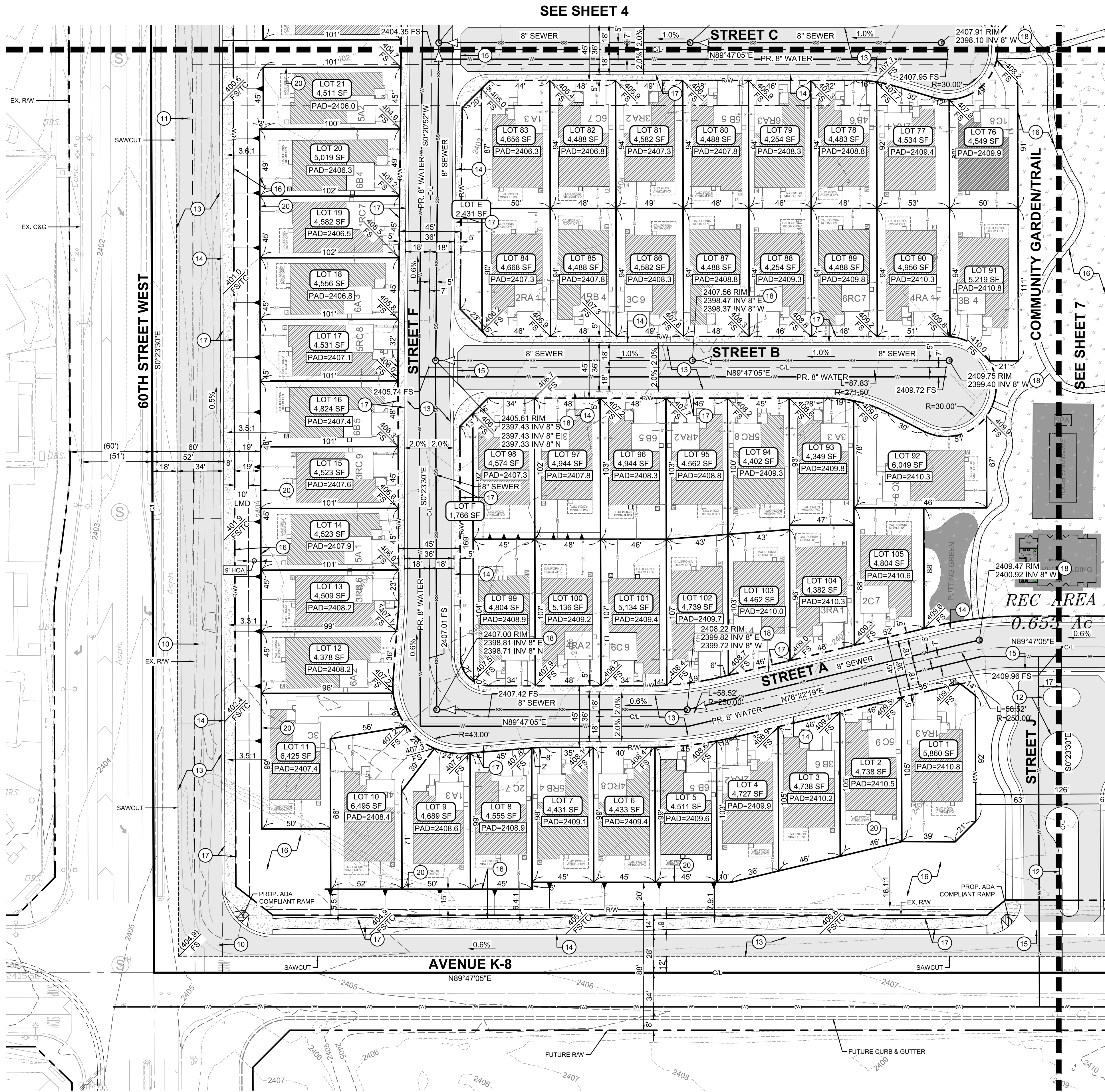
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Last Opened: Nov 15, 2022 - 10:08am by rftma

OWNER / DEVELOPER: PACIFIC COMMUNITIES BUILDER, INC. 1000 DOVE ST, SUITE 100 NEWPORT BEACH, CA 92660		 DAVID EVANS AND ASSOCIATES INC. PREPARED UNDER THE SUPERVISION OF: JUSTIN A. BROWN R.C.E. NO. 85617		41951 Remington Avenue Suite 220 Temecula California 92590-2553 Phone: 951.294.9300				<table><tr><th>REV#</th><th>APPR</th><th>DATE</th><th>REVISION DESCRIPTION</th></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>		REV#	APPR	DATE	REVISION DESCRIPTION													REVISION BLOCK		CITY ENGINEER APPR DATE		CITY OF LANCASTER		TENTATIVE TRACT MAP 53642 CONCEPTUAL GRADING & SITE PLAN		SHEET 5 OF 9 SHTS	
REV#	APPR	DATE	REVISION DESCRIPTION																																
SCALE:																																			

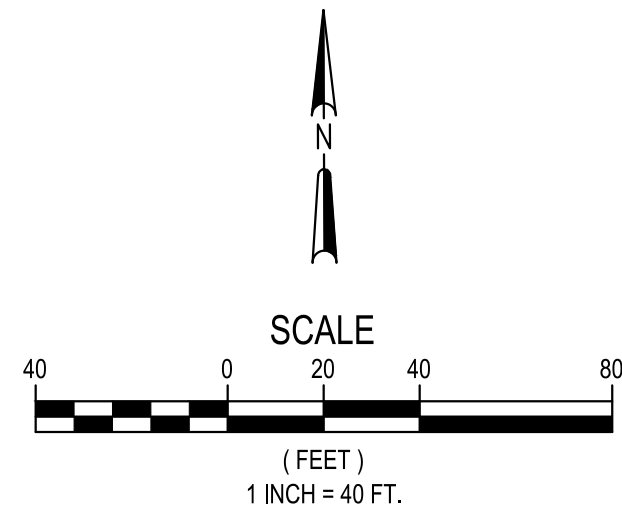




TENTATIVE MAP KEY NOTES

- 1 EXISTING FIRE HYDRANT TO BE RELOCATED.
- 2 EXISTING STORM DRAIN TO BE PROTECTED IN PLACE.
- 3 EXISTING SEWER LINE TO BE PROTECTED IN PLACE.
- 4 EXISTING WATER LINE AND APPURTENANCES TO BE PROTECTED IN PLACE.
- 5 EXISTING POWER POLE TO BE PROTECTED IN PLACE.
- 6 EXISTING CHAIN LINK FENCE TO BE REMOVED.
- 7 EXISTING MANHOLE TO BE PROTECTED IN PLACE.
- 8 EXISTING FIRE HYDRANT TO BE PROTECTED IN PLACE.
- 9 EXISTING TREE/SHRUBS TO BE REMOVED.
- 10 EXISTING SIGN TO BE RELOCATED.
- 11 EXISTING UTILITY VAULT TO BE PROTECTED IN PLACE.
- 12 PROPOSED CURB.
- 13 PROPOSED AC PAVEMENT.
- 14 PROPOSED CURB AND GUTTER.
- 15 PROPOSED CROSS GUTTER.
- 16 PROPOSED LANDSCAPE.
- 17 PROPOSED CONCRETE SIDEWALK.
- 18 PROPOSED SEWER MANHOLE.
- 19 PROPOSED SEWER POINT OF CONNECTION.
- 20 PROPOSED RETAINING WALL.
- 22 PROPOSED CURB INLET.
- 23 PROPOSED STORM DRAIN MANHOLE.
- 24 PROPOSED REVERSE PARKWAY DRAIN.

NOTE:  
SEWER MAINS AND STORM DRAIN MAINS IN  
PRIVATE STREETS SERVING ONLY THIS  
TRACT SHALL BE PRIVATELY OWNED AND  
MAINTAINED.



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OWNER / DEVELOPER:  
PACIFIC COMMUNITIES  
BUILDER, INC.  
1000 DOVE ST, SUITE 100  
NEWPORT BEACH, CA 92660

DAVID EVANS  
AND ASSOCIATES INC.  
PREPARED UNDER THE SUPERVISION OF:  
JUSTIN A. BROWN R.C.E. NO. 85617

41951 Remington Avenue Suite 220  
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Phone: 951.294.9300

JUSTIN A. BROWN  
R.C.E. NO. 85617  
CIVIL  
STATE OF CALIFORNIA

REV#	APPR	DATE	REVISION DESCRIPTION

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CITY ENGINEER

APPR DATE

CITY OF LANCASTER

TENTATIVE TRACT MAP 53642  
CONCEPTUAL GRADING & SITE PLAN

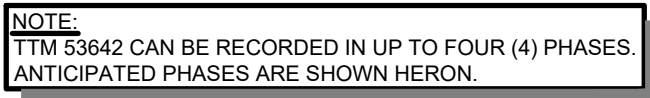
SHEET 6 OF 9 SHTS

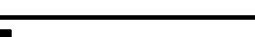
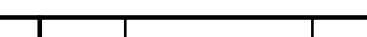
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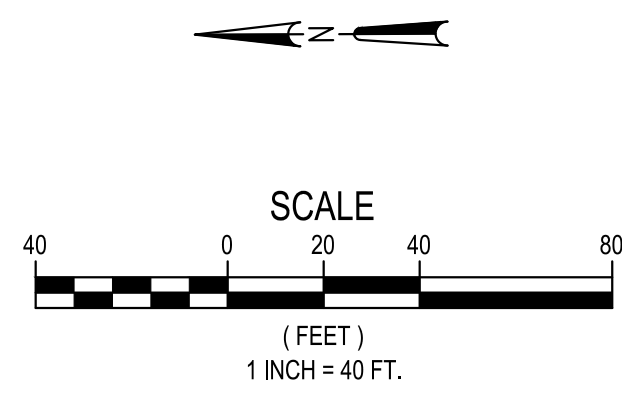
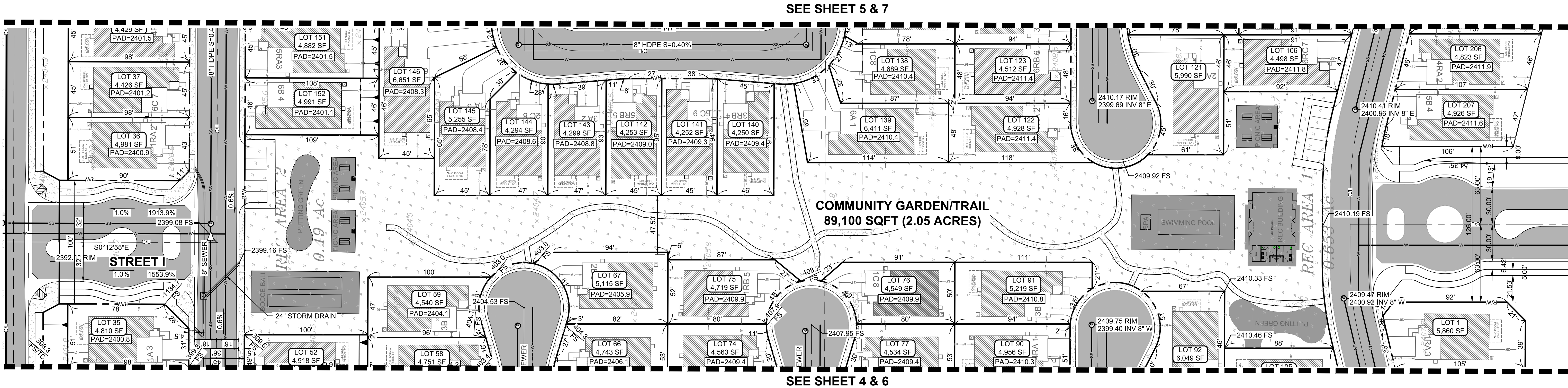




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			REV#	APPR	DATE	REVISION DESCRIPTION	APPR	DATE	TENTATIVE TRACT MAP 53642 PHASING PLAN		SHEET 8 OF 9 SHTS	
			PREPARED UNDER THE SUPERVISION OF:								SCALE:	
JUSTIN A. BROWN R.C.E. NO. 85617		DATE										

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CITY OF LANCASTER  
TENTATIVE TRACT MAP 53642  
CONCEPTUAL GRADING & SITE PLAN

SCALE:

SHEET  
9 OF  
9 SHTS